



## Community Development Department

### RENAISSANCE ZONE AUTHORITY MEETING AGENDA April 13, 2017

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David J. Blackstead Meeting Room      4:00 p.m.      City-County Office Building

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Item No.

Page No.

### MINUTES

1. Consider approval of the minutes of the March 9, 2017 meeting of the Renaissance Zone Authority.

### REGULAR AGENDA

*The following items are requests for Renaissance Zone, CORE Incentive Program, and/or Downtown Design Review approval.*

2. **Primary Residential Condo – Suite 306 | 100 West Broadway Avenue**  
Renaissance Zone .....9  
  
Staff recommendation: approve      ☐ approve      ☐ continue      ☐ table      ☐ deny
3. **Façade Renovation | 208 East Main Avenue**  
CORE Façade Incentive Grant Program .....14  
  
Staff recommendation: continue/approve      ☐ approve      ☐ continue      ☐ table      ☐ deny
4. **Bismarck Depot Façade Renovation | 208 East Main Avenue**  
Downtown Design Review .....21  
  
Staff recommendation: approve      ☐ approve      ☐ continue      ☐ table      ☐ deny

### OTHER BUSINESS

5. **Update from Downtowners Association** .....



## **ADJOURNMENT**

- 6. Adjourn.** The next regular meeting date is scheduled for **May 11, 2017.**

Enclosures:     *Renaissance Zone Project Status Spreadsheet*  
                      *CORE Incentive Grant Program Project Status Spreadsheet*

**BISMARCK RENAISSANCE ZONE AUTHORITY  
MEETING MINUTES  
March 9, 2017**

The Bismarck Renaissance Zone Authority met on March 9, 2017 in the David J. Blackstead Meeting Room in the City-County Office Building at 221 North 5<sup>th</sup> Street. Chairman Walth presided.

Authority members present were Josh Askvig, Joe Fink, Chuck Huber and Chairman Walth.

Authority members Jim Christianson, Todd Van Orman and George Keiser were absent.

Technical Advisor Bruce Whittey was present and technical advisor Steph Smith was absent.

Staff members present were Brady Blaskowski (Building Official), Hilary Balzum (Administrative Assistant), Brenda Johnson (Senior Real Property Appraiser), Kim Lee (Planning Manager), Will Hutchings (Planner), Daniel Nairn (Planner) and Charlie Whitman (City Attorney).

Guests present were Kate Herzog and Madison Cermak (Downtowners Association), Mike Haag (Haag Signs), Cole Johnson (EAPC Architects Engineers) and Ryan Duffey (River Road Partners).

### **CALL TO ORDER**

Chairman Walth called the meeting to order at 4:00 p.m.

### **MINUTES**

The minutes of the February 9, 2017 meeting were distributed with the agenda packet.

**MOTION:** A motion was made by Mr. Huber and seconded by Mr. Askvig to approve the minutes of the February 9, 2017 meeting as distributed. The motion passed unanimously with members Askvig, Fink, Huber and Chairman Walth voting in favor.

### **DOWNTOWN DESIGN REVIEW**

#### **AMENDMENT TO APPROVED FACADE DESIGN AND SIGNS (212 EAST MAIN AVENUE)**

Mr. Nairn explained that a request for an amendment to a previously approved Downtown Design Review project was submitted for this location upon the discovery of structural difficulties and obstacles when the work was started. He said the Renaissance Zone Authority discussed the request last month and deemed this to be a reasonable issue, but asked for the

applicant to come back and provide some alternative materials. He said the renderings provided in the packet show some wall signs as well, so this meeting can suffice as the Downtown Design Review on those. He said the wall signs are required to be dimensional and the architect is here to discuss the proposed alternative materials for the façade.

Ryan Duffy, River Road Partners, said they are proposing a dark grey concrete board behind the façade material. Cole Johnson, EAPC Architects Engineers, said the colors can vary and be modified at the discretion of the Renaissance Zone Authority members.

Chairman Walth asked if there is a gray option that would be complementary to the window trim. Mr. Johnson said that is an option and that they would also like the wide wall near the door to be fiber cement in order to better match the brick under the windows. He said they have the options to paint over the brick with a dark bronze, install fiber cement boards or install anodized metal over the brick. He said the anodized metal might not fit very well against the façade and fiber cement board that close to the ground could get damaged easily. He said painting a dark bronze tone is the most preferred option right now.

Chairman Walth asked how they would tie that color in with the other brick on the building. Mr. Johnson said it would be darker in order to blend and match the other textures better, and he said that the intent is to eventually redo the whole store front at some time down the road. He said they will have to work around some existing cables that are also causing them issues right now.

Mr. Duffy said they did want transom windows on the store front but that was going to put them about \$10,000 over budget. He said they want to be presentable, but they also need to be affordable, potentially transitioning to a completely glass face in the future in order to match their neighbors.

Mr. Fink asked if the fiber cement board would fit flush against the brick on the front of the building. Mr. Johnson said they would fit very closely, within an inch or two of the façade.

Chairman Walth said it is his understanding that fiber cement board would not do well for this project. Mr. Johnson said it is not a bad option, as it is cost effective, but the concern is with how well it would stand up to foot traffic and things like snow removal that close to the ground.

Mr. Huber asked if the fiber cement board would be painted or if the color permeated, and what they would be like to maintain. Mr. Johnson said they would probably have to be repainted every year as they would only be a surface applied color.

Mr. Whittey asked if the wall signs would be lit in any way. Mr. Duffy said if they go with acrylic standouts, then they would be backlit with an LED light. Mr. Johnson said this would be similar to the adjacent owner to the west, and Mr. Duffy said they would be willing to commit to that requirement if necessary.

Chairman Walth opened the public hearing.

There being no comments, Chairman Walth closed the public hearing.

**MOTION:** A motion was made by Mr. Askvig and seconded by Mr. Fink to approve of the proposed amendments to the design of the façade at 212 East Main Avenue to include two-tone grey painting of the brick below the windows and complementary grey colored cement board and metal panel over the transom, as shown on the rendering provided, and with the requirement that any wall signage be raised at least one inch and backlit by LED. The motion passed unanimously with members Askvig, Fink, Huber and Walth voting in favor.

### **230 WEST BROADWAY – DAIRY QUEEN SIGN**

Mr. Nairn stated that the applicant is requesting Downtown Design Review approval for two replacement signs on the property of 230 West Broadway. He said the property is within the DF – Downtown Fringe zoning district, and thus subject to Downtown Design Review

Mr. Nairn said there are two signs at this location to be addressed, one on the roof of the Dairy Queen building and one on a stand-alone pole along North Washington Street. He said both of the new signs would use the existing mounts and that the intent of the change is to update signage due to rebranding by the Dairy Queen corporation. He said both signs would be smaller than what is there now and would also meet ordinance requirements as outlined in Title 4 of the City Code of Ordinances.

Mr. Askvig asked if the existing pole sign is illuminated. Mike Haag, Haag Signs, said it is, but it is dated as it is corrugated and the new sign would be polycarbonate and more weather resistant. He said the signs need some general attention as well. He added they have been working with Montana-Dakota Utilities to raise the power line over the property, and are hoping the new signs would give the property a more modern look. He said the existing pole sign is falling apart and the owner agrees with having to replace the retaining hardware on it.

Chairman Walth opened the public hearing.

There being no comments, Chairman Walth closed the public hearing.

**MOTION:** A motion was made by Mr. Huber and seconded by Mr. Askvig to approve of the proposed design for replacement signs at 230 West Broadway as presented in all submitted documents and materials. The motion passed unanimously with members Askvig, Fink, Huber and Walth voting in favor.

## **OTHER BUSINESS**

### **AMENDMENTS TO DOWNTOWN SIGN REGULATIONS**

Mr. Nairn said they have looked at the sign ordinances in some other cities and are looking for ideas as far as what to bring into the City of Bismarck ordinances in the future.

Ms. Lee said the last sign ordinance amendment was influenced by JL Beers when they wanted to paint a sign on the exterior of their building. She said other than that there has not been a significant update to the downtown sign ordinance since 2002.

Mr. Askvig asked if those who would be most influenced, such as the local sign companies, have been asked for their input on how to best update the ordinance. Mr. Nairn said sign company representatives would be invited to an input session before any draft amendments are presented.

Mr. Fink asked why this ordinance needs to be modified. Mr. Blaskowski said the discussion of updating the ordinance came up because they have found it is outdated and no longer works like it should. He said things like the number of signs to be allowed and signage in the downtown area in general need to be addressed.

Ms. Lee said, with the exception of downtown, signage within the City is not heavily regulated. She said amending the downtown regulations could be a first step to addressing signs City-wide.

Chairman Walth said that he believes the City of Bismarck is too liberal with sign requirements throughout the community and he asked the members to think about some suggestions and provide them to Mr. Nairn for consideration in the future.

### **DISCUSSION ABOUT DESIGNATION OF RENAISSANCE ZONE LEASE PROJECTS WITHOUT EXTERIOR IMPROVEMENTS**

Mr. Huber said, as the program has matured, it seems the need for exterior improvements with a lease designation should be a requirement, adding that he feels the Renaissance Zone Authority has the ability to make that request if deemed necessary. He said the Authority could opt to not approve an interior rehab or make it contingent upon the addition of exterior improvements for leverage on approving projects.

Chairman Walth said there could be a situation where an entire building is leased with improvements, but the exterior is in less than good condition.

Mr. Huber said a request could be made by a tenant or landlord by an application for improvements and then tie those improvement approvals together.

## **DISCUSSION OF REPAYMENT OF CORE FAÇADE INCENTIVE GRANTS**

Mr. Nairn provided those present with a draft application showing the commitment of repayment of a grant in the event material changes are made to the property within five years of a grant being rewarded.

Mr. Fink asked if there could be a recorded document stating the requirement of repayment of funds received in the event the ownership changes. Mr. Whitman said the designation could transfer to the new owner or the original owner could be sought for repayment. He said he would rather see the designation stay with the original applicant as the applicant would be the one who benefitted originally.

Mr. Fink said he would like to see something that is date certain as to at what point a rewarded project would have to be repaid, such as upon the funding of the grant to the owner. He noted that there could be a considerable lag time between the approval of a grant and its actual disbursement.

Mr. Askvig said he would like to see a memo submitted for consent by the Board of City Commissioners so they are aware of this stipulation being added.

## **DISCUSSION ABOUT POSSIBLE BOUNDARY EXPANSION**

Mr. Nairn informed those present that the current Main Street Tire building is for sale and he has had an inquiry from one party interested in purchasing and redeveloping the property. He said it is not currently in the Renaissance Zone or Tax Increment Financing district, so he would like to explore the option of adding it to the Renaissance Zone.

Mr. Fink said it looks like this property was deliberately left out of the Renaissance Zone. Ms. Lee said it is considered a whole block and at the time the Renaissance Zone boundaries were decided, there was not any interest in redeveloping any of the properties.

Mr. Nairn said the Renaissance Zone boundaries have been amended in the past and this block could be added because there is project interest in it. He said the property would only be eligible for Renaissance Zone projects, not CORE projects, because those are TIF-funded.

Chairman Walth said the 15-month extension of the Renaissance Zone is through August 1<sup>st</sup> of this year, so adding the property to the boundaries and approving a project on it would have to move quickly.

Mr. Askvig said he is resistant to adding the property to the Renaissance Zone boundaries at this time, as other people with interest in projects have approached with the same idea and have been turned down because they do not want to seem like they are project chasing. He added that, on the other hand, this site seems more appropriate for a project than others that have been contemplated.

Ms. Lee said a public hearing would be required in order to modify the boundaries as well as for the project, so the timeline is short.

Mr. Nairn said the potential buyer of the property is in the beginning exploratory phase and the unavailability of the Renaissance Zone program might affect their decision to purchase it and redevelop the property.

Ms. Johnson said she has received multiple calls of interest and people looking for assessing information on this property as well.

Mr. Askvig said he would like to wait and see if the Renaissance Zone provisions are amended by the State legislature before modifying the boundaries again.

### **UPDATE FROM DOWNTOWNERS ASSOCIATION**

Ms. Herzog gave an update on the current Legislative session and said Senate Bill 2247 for the repeal of parking meters passed the Senate. She said an amendment to the bill was also added requiring a public hearing prior to the implementation of parking meters and the legislature amended the bill to require a public referendum before implementing parking meters. She said Senate Bill 2166 relating to other impacted political subdivisions negotiating Renaissance Zone tax exemptions also passed the Senate, but has not yet been scheduled for a hearing and House Bill 1182 which would remove income tax exemptions from the Renaissance Zone incentives passed by the House. She said the margin of approval was small enough that reconsideration was requested, but that request was denied. She said a Senate hearing was held with a few people speaking in favor of the removal of the tax exemption and many opposing it. She said she has not heard any further updates at this time.

### **ADJOURNMENT**

There being no further business, Chairman Walth adjourned the meeting of the Bismarck Renaissance Zone Authority at 5:10 p.m.

Respectfully Submitted,

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Hilary Balzum  
Recording Secretary

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Curt Walth  
Chairman





# STAFF REPORT

City of Bismarck  
Community Development Department  
Planning Division

Agenda Item # 2

April 13, 2017

## Application for: Renaissance Zone Designation

TRAKiT Project ID: RZ2017-006

### Project Summary

<i>Title:</i>	Maragos Residence – Unit 306
<i>Project Type:</i>	Purchase of Primary Residence
<i>Status:</i>	Renaissance Zone Authority
<i>Applicant(s)</i>	Traci and Bruce Maragos
<i>Owner(s):</i>	Traci and Bruce Maragos (pending)/Pine Properties, LLC
<i>Project Description:</i>	The applicant has purchased a 2,396 SF condominium in the Broadway Centre building and will use the condominium as a full-time residence



*Street Address:* 100 West Broadway Ave Unit 306

*Legal Description:* Lots 1-24, Block 58, Original Plat

*RZ Block #* 2B

### Project Information

<i>Parcel Size (square feet):</i>	90,000	<i>Building Floor Area (square feet):</i>	2,687	<i>Estimated Property Tax Benefit:</i>	\$25,000 over 5 years (100%)
<i>Lease Area (square feet):</i>	N/A	<i>Certificate of Good Standing:</i>	In Process	<i>Estimated Income Tax Benefit:</i>	\$5,000 over 5 years.

### Staff Analysis

The applicant has purchased a condo within a previously approved and completed Renaissance Zone project (Project 80-B) and has confirmed that the condo will be the owners' primary residence.

In addition to the traditional property tax exemption, an individual taxpayer who purchases or rehabilitates a single-family residential property for the individual's primary place of residence as a Renaissance Zone project is exempt from up to \$10,000 of personal income tax liability for five taxable years beginning with the date of occupancy or completion of rehabilitation.

### Required Findings of Fact

1. The proposed project is consistent with the goals and objectives of the City's Renaissance Zone Development Plan.
2. The proposed project meets the relevant minimum project eligibility criteria for the City of Bismarck Renaissance Zone program, as shown in the attached scoring sheet.

### Staff Recommendation

Based on the above findings, staff recommends approval of the designation of the purchase of a primary residence in the building at 100 West Broadway Avenue, a 100% property tax exemption on the value of the condominium and an exemption up

to \$10,000 from personal state income tax for five years beginning with the date of occupancy.

2. Location Map
3. Condo Floor Plan

**Attachments**

1. Renaissance Zone Criteria Scoring Sheet
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*Staff report prepared by:* Daniel Nairn, AICP Planner  
701-355-1854 | [dnairn@bismarcknd.gov](mailto:dnairn@bismarcknd.gov)

## Renaissance Zone Criteria Project Scoring Sheet

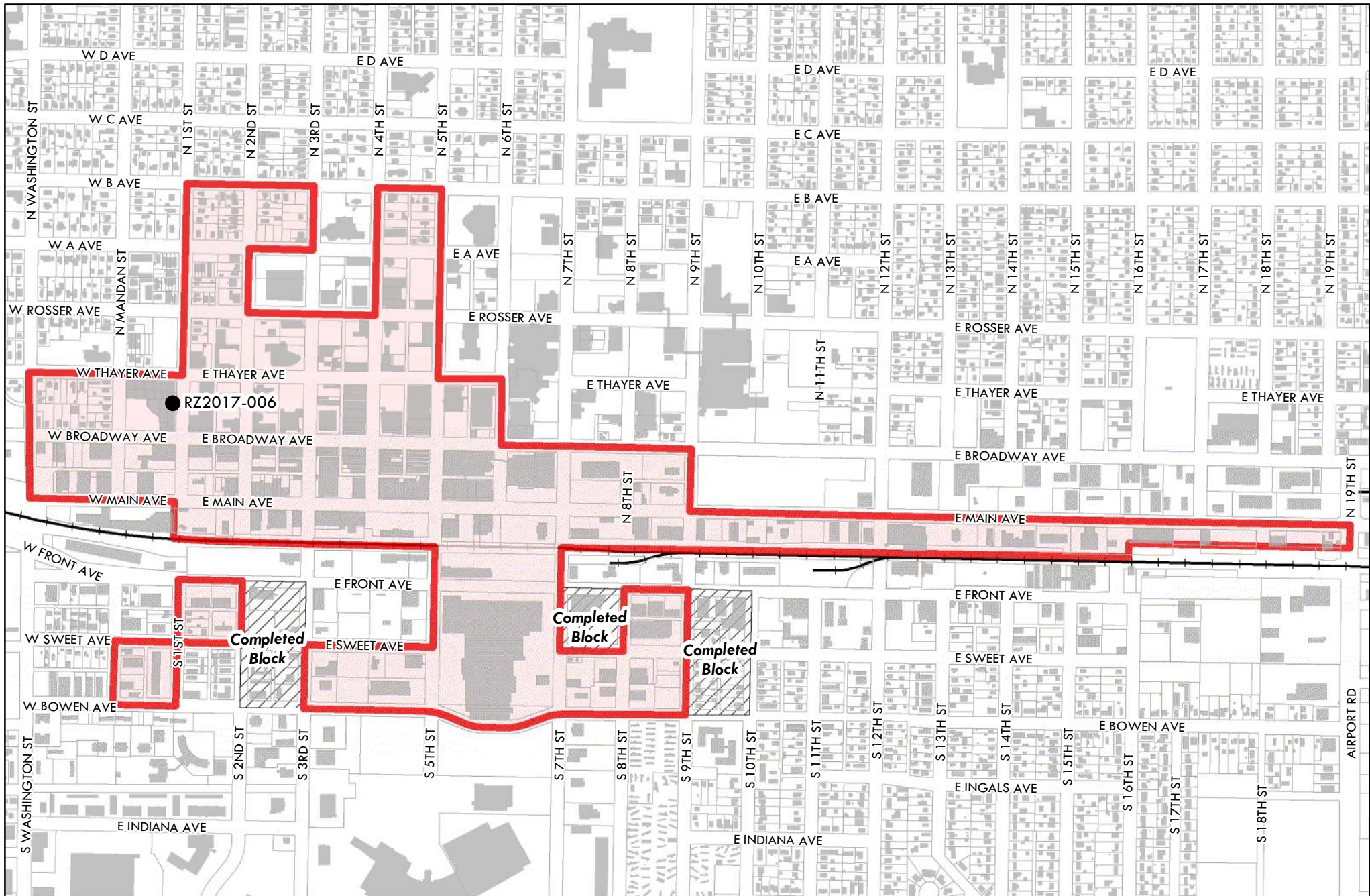
<b>Title:</b>	Maragos Residence – Unit 306	<b>Current Valuation:</b>	\$274,700
<b>Project Type:</b>	Primary Residential	<b>Proposed Capital Investment:</b>	N/A

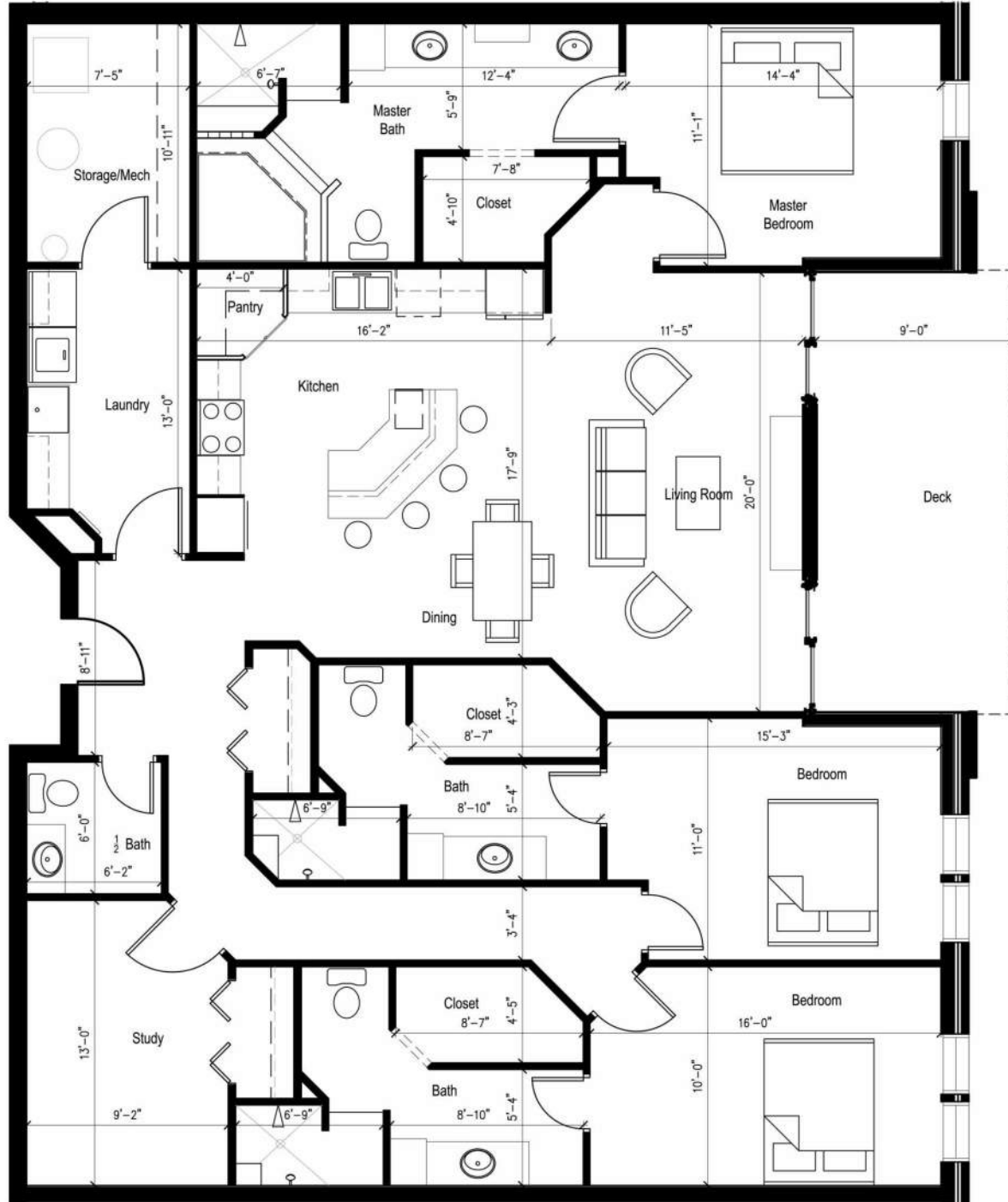
Minimum Criteria for Proposals Involving a Purchase:		Possible Points	Staff Rating
1	Project consistent with the Renaissance Zone Development Plan, specifically:  <b>A1:</b> Maintain the Zone as a mixed-use area accommodating a wide range of retail, governmental, service and residential functions.  <b>A3:</b> Promote and advocate activities and programs that meet the needs of varied age, interest, and socioeconomic groups at all times of the day and night and throughout the year.  <b>G1:</b> Promote the Renaissance Zone as a location for new housing opportunities within the community.  <b>G3:</b> Continue to support the creation of market-rate rental housing and owner-occupied housing choices to create balance in the downtown housing market.	20	20
2	Significant level of investment based on guidelines for residential projects	20	20
<b>Subtotal</b>		<b>40</b>	<b>40</b>

Project Review Guidelines - Required:			
1	High Priority Land Use <ul style="list-style-type: none"> <li>Primary sector business</li> <li>Active commercial, specialty retail and/or destination commercial</li> <li>Mixed use development</li> <li>Residential units, including single or multi-family units</li> </ul>	15	15
2	Capital Investment <ul style="list-style-type: none"> <li>Consideration for level of capital investment (either by owner or lessee)</li> </ul>	15	15
3	Targeted Area <ul style="list-style-type: none"> <li>Parcels that have been vacant or underutilized for an extended period</li> <li>Parcels specifically targeted for clearance</li> </ul>	15	15
4	Relocation (vs. New or Expanding Business) <ul style="list-style-type: none"> <li>Relocation from within the downtown area (may not be eligible)</li> <li>Relocation from a community outside Bismarck area (may not be eligible)</li> <li>Maintaining existing business in the downtown area or expanding business</li> </ul>	15	15
<b>Subtotal</b>		<b>60</b>	<b>45</b>
<b>TOTAL</b>		<b>100</b>	<b>100</b>

Project Review Guidelines – Optional:			
1	Public Space/Design <ul style="list-style-type: none"> <li>Incorporation of civic or public spaces</li> <li>Demonstrated commitment to strengthen pedestrian connections</li> <li>Attention to streetscape amenities and landscaping</li> <li>Attention to design and visual appearance</li> </ul>	10	0
2	Historic Preservation and Renovation <ul style="list-style-type: none"> <li>Within the downtown historic district</li> <li>Contributing or non-contributing</li> <li>Historic preservation component</li> </ul>	10	0
<b>Subtotal</b>		<b>20</b>	<b>0</b>
<b>TOTAL</b>		<b>120</b>	<b>100</b>

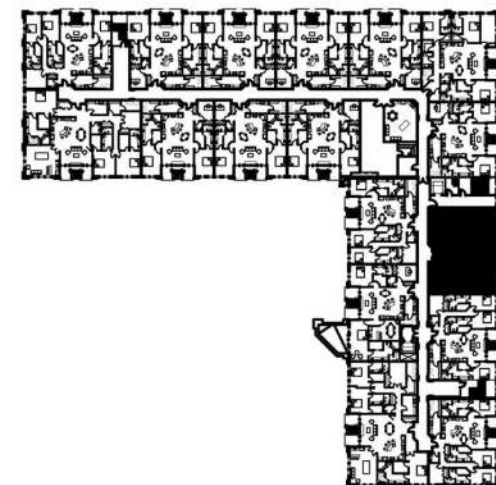
# Renaissance Zone Program - Project Location Map





$$\begin{aligned}
 &2236 \text{ sq.ft.} \\
 &+ \\
 &160 \text{ sq.ft. (patio)} \\
 &= \\
 &2396 \text{ sq.ft.}
 \end{aligned}$$

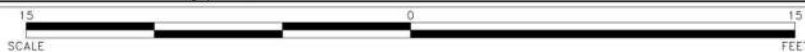
3 Bedroom  
Unit



KEY LEGEND

1

3rd Floor Condo Plan - Unit Type D - Condo Unit 306







## STAFF REPORT

City of Bismarck  
Community Development Department  
Planning Division

Agenda Item # 3

April 13, 2017

**Application for: CORE Incentive Grant Program**

TRAKiT Project ID: CORE2017-001

### Project Summary

<i>Title:</i>	Façade Renovation of 208 East Main Avenue
<i>Project Type:</i>	Facade Incentive
<i>Status:</i>	Renaissance Zone Authority
<i>Applicant(s):</i>	Mike Joyce
<i>Owner(s):</i>	Alice and Mike Joyce
<i>Street Address:</i>	208 East Main Avenue
<i>Legal Description:</i>	Lots 14 and 15, Block 52, Original Plat
<i>Project Description:</i>	Replace windows and doors on façade with in-kind aluminum fixtures, update materials over transom area, and restore brick underneath sheathing on ground level.



### Project Information

<i>Parcel Size (square feet):</i>	2,000	<i>Building Floor Area (square feet):</i>	4,000	<i>Incentive Requested:</i>	\$5,500
<i>Total Project Cost:</i>	\$16,750	<i>Contractor:</i>	Superior Glass, Inc., Fargo Glass & Paint Co., C&H Glass		



*The Main Avenue façade of 208 East Main Avenue*

### Staff Analysis

The applicant is requesting funding from the CORE Façade Incentive Grant Program for the rehabilitation of the exterior of 208 East Main Avenue facing Main Avenue. The ground-floor storefronts are currently vacant, although Noodlezip restaurant, a recently approved Renaissance Zone project, intends to occupy the east side. The second floor is used for five apartment units.

The applicant intends to replace all of the windows and doors with low-e glass and similar aluminum frames. Three bids have been received for this work and are attached. The applicant also intends to remove the brown cladding from the ground floor and restore the original brick underneath.

(continued)

The transom area above the ground-floor windows and doors is currently covered with a painted wooden board. Underneath the board is a corrugated metal panel, which is not original. Photos from the 1950s show translucent glass blocks in the transom area. The applicant intends to remove this board and either paint the metal panels beneath to match the surrounding buildings or otherwise treat to update the appearance.

The building was constructed in 1918 and is a contributing structure to the Downtown Bismarck Historic District and individually eligible for the National Register of Historic Places. The BPOE engraving stands for "Benevolent and Protective Order of Elks," indicating the original building owners. The Elks organization occupied the second floor and rented the ground floor to retail establishments.

During the review process of the Renaissance Zone lease project within this building, the Renaissance Zone Authority asked staff to approach the building owner about utilizing the CORE Façade Incentive Grant program for this building.

To date, the applicant has not hired a professional architect and no design illustrations have been submitted in conjunction with this application. If the Renaissance Zone Authority wishes to have more information about the final outcome and design, the Technical Assistance Bank program could potentially be used to create these designs. In particular, treatment of the transom area could benefit from professional guidance.

#### **Required Findings of Fact**

1. The property is located within the Tax Increment Financing District for downtown Bismarck.

2. The project supports the recommendations of the 1995 Central Business District Plan, the 2013 Downtown Bismarck Plan, as well as the approved 2015 Downtown Design Guidelines.
3. The project would meet all applicable building code and zoning requirements.
4. The property is not exempt from general property tax.
5. The applicant has received three bids for completion of the proposed work.
6. The rehabilitation project may address every story of the façade, all signs of blight, and any portion of the façade that demonstrates poor visual appearance. However, it is unclear how this will be achieved.
7. No Façade Incentive Grant has been awarded within the last five (5) years and the proposed project does not improve building elements that were previously funded through this program. The request is not being made in conjunction with the Renaissance Zone program.

#### **Staff Recommendation**

Based on the above findings, staff recommends continuing the review of the request for funding from the CORE Façade Incentive Grant Program and approving a CORE Technical Assistance Bank to assist with design of the exterior façade improvements. The maximum architectural grant amount of \$2,475 is based on an hourly rate of \$110.00 for a maximum of 30 hours and a 25% match provided by the applicant.

#### **Attachments**

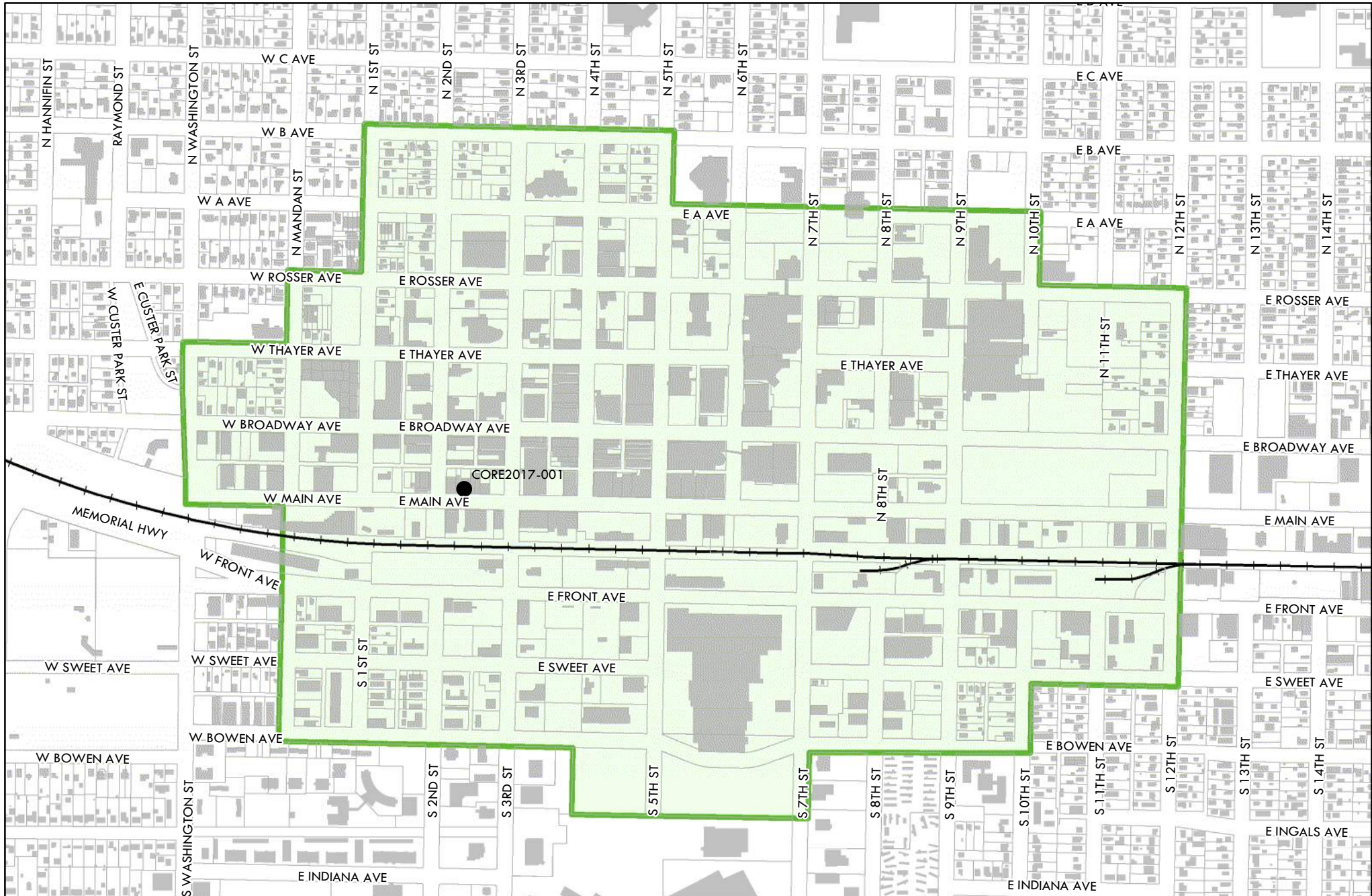
1. Location Map
2. Three bids for glass replacement

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Staff report prepared by: Daniel Nairn, AICP, Planner  
701-355-1854 | [dnairn@bismarcknd.gov](mailto:dnairn@bismarcknd.gov)



# CORE Incentive Grant Program - Project Location Map







# C & H GLASS COMPANY, INC.

3138 N. 10TH ST. - P.O. BOX 1991  
BISMARCK, NORTH DAKOTA 58502  
BUS 701-258-6800 - 701-258-6801 FAX

## PROPOSAL

Architect: \_\_\_\_\_ Bid to: \_\_\_\_\_  
Job: Joyce Properties Address: 208 East Main Ave  
Location: Bismarck, ND Date: 03/06/17

We propose to remove and haul away existing glass, framing, two (2) doors and panels in immediate area.

We propose to furnish and install the following:

Two (2) New Kawneer Narrow Stile doors, MS lock, standard push pull handles, 1 1/2 pair butt hinges, 10 bottom rail, threshold, sweep, new closers and transom.

451T Clear Aluminum framing with 1" clear Low E tempered glass.

We exclude hidden damage, structural problems.

\*Until we remove metal panels around the storefront we do not know if any brick repair will be needed to be done by others.

All of the above complete for the net sum of.....\$ 17,705.00

NOTICE: THIS PROPOSAL IS FIRM FOR A PERIOD OF THIRTY (30) DAYS from the date thereof, and is subject to review and possible increase thereafter, due to present fluctuating market conditions affecting our costs.

Accepted: \_\_\_\_\_ C & H GLASS COMPANY, INC.

By: \_\_\_\_\_ By: Russ Heier

Date: \_\_\_\_\_

### This proposal is subject to the following terms and conditions:

Material delivered only to job must be paid by the 10th of the month following billing.

All contracts for glass and glazing are due and payable at the completion of the work.

In the event the work cannot be completed during the month in which it is begun, progress payments consisting of 90% of the value of all materials furnished and work performed during a given month shall be paid on or before the tenth of the month following.

Any changes which necessitate alterations or extra material not included in our proposal shall be charged for accordingly.

# Fargo Glass and Paint Co.

## BISMARCK BRANCH

ALL GLASS PRODUCTS - STORE FRONTS, ALUMINUM ENTRANCES, ALUMINUM WINDOWS, MIRRORS,  
AUTOMATIC AND HANDICAPPED ACCESSIBLE ENTRANCES.

PHONE (701) 255-0882 - FAX (701) 255-0887

1333 SOUTH 20TH STREET

BISMARCK, NORTH DAKOTA 58502

*East side*

Mike Joyce

Bismarck, ND

3/6/2017

We propose to furnish and install the following described material for  
208 East Main - Bismarck, ND

according to plans and specifications by

Price #2 - East Unit

1 - Exterior Aluminum Entrance To Fit A R.O. Of 3'-4 1/2" x 9'-2", Door Std. Narrow Stile, Frame  
2" x 4 1/2" With Transom.

Hardware: 1 1/2 Pair Butts, LCN 4041 Closer, Std. Push/Pull, MS Lock, Threshold And Door Sweep.

Doors: Standard Narrow Stile With 2 1/8" Stile, 2 1/8" Top Rail And 4" Bottom Rail

2 - 42" x 82" Exterior Aluminum Window Frames: 2" x 4 1/2" Fixed T-14000 (See Attached Drawing)

2 - 76" x 82" Exterior Aluminum Window Frames: 2" x 4 1/2" Fixed T-14000 (See Attached Drawing)

Finish: Standard Clear Anodized Class 2

Exterior Glazing: Clear 1" Low-E Insulating Units (Tempered Where Required By Code)

Furnished And Installed

We Include Exterior Caulking Of Aluminum Entrances And Windows

Removal Of Existing Included Aluminum Windows And Entrance Included

1 1/2" Breakmetal Trim Around Windows Included, Breakmetal At Corners Included (Exterior Only)

Bid - Ten Thousand Three Hundred Forty Seven & no/100 Dollars -----\$10,347.00

Any Changing Of Openings Or Reframing By Others, Any Temporary Sheltering By Others

Removal Of Any Exterior Materials By Others

NOTES: Should you accept this estimate yet use your own contract form, it is understood that we will incorporate  
and make a part thereof a true copy of this estimate and all of its conditions. **ACCEPTANCE IS SUBJECT  
TO CREDIT APPROVAL**

Sales and/or Used Tax is included in this contract.

**NO FINAL WASHING OR CLEANING OF GLASS OR ALUMINUM**

WE ARE NOT RESPONSIBLE FOR DAMAGE TO GLASS OR ALUMINUM BY OTHER TRADES.

NO CONSTRUCTION PROTECTION. NO TEMPORARY ENCLOSURES OR HEATING. NO CAULKING.

CONTRACT GOOD FOR THIRTY (30) DAYS FROM DATE.

BREAKAGE: Resulting from conditions beyond our control will be charged as extras.

FREIGHT: F.O.B. shipping point, freight allowed.

Accepted

By

**FARGO GLASS OF BISMARCK**

By

Steve McGillivray

An Equal Opportunity Employer



West side

# Fargo Glass and Paint Co.

## BISMARCK BRANCH

ALL GLASS PRODUCTS - STORE FRONTS, ALUMINUM ENTRANCES, ALUMINUM WINDOWS, MIRRORS,  
AUTOMATIC AND HANDICAPPED ACCESSIBLE ENTRANCES.

PHONE (701) 255-0882 - FAX (701) 255-0887

1333 SOUTH 20TH STREET

BISMARCK, NORTH DAKOTA 58502

Mike Joyce

3/6/2017

Bismarck, ND

We propose to furnish and install the following described material for  
208 East Main - Bismarck, ND

according to plans and specifications by

Price #1 - West Unit

1 - Exterior Aluminum Entrance To Fit A R.O. Of 3'-4 1/2" x 9'-2", Door Std. Narrow Stile, Frame  
2" x 4 1/2" With Transom.

Hardware: 1 1/2 Pair Butts, LCN 4041 Closer, Std. Push/Pull, MS Lock, Threshold And Door Sweep.

Doors: Standard Narrow Stile With 2 1/8" Stile, 2 1/8" Top Rail And 4" Bottom Rail

1 - 58" x 82" Exterior Aluminum Window Frames: 2" x 4 1/2" Fixed T-14000 (See Attached Drawing)

1 - 166" x 82" Exterior Aluminum Window Frames: 2" x 4 1/2" Fixed T-14000 (See Attached Drawing)

Finish: Standard Clear Anodized Class 2

Exterior Glazing: Clear 1" Low-E Insulating Units (Tempered Where Required By Code)

Furnished And Installed

We Include Exterior Caulking Of Aluminum Entrances And Windows

Removal Of Existing Included Aluminum Windows And Entrance Included

1 1/2" Breakmetal Trim Around Windows Included, Breakmetal At Corners Included (Exterior Only)

Bid - Eight Thousand Three Hundred Sixty & no/100 Dollars -----\$8,360.00

Any Changing Of Openings Or Reframing By Others, Any Temporary Sheltering By Others  
Removal Of Any Exterior Materials By Others

NOTES: Should you accept this estimate yet use your own contract form, it is understood that we will incorporate  
and make a part thereof a true copy of this estimate and all of its conditions. **ACCEPTANCE IS SUBJECT  
TO CREDIT APPROVAL**

Sales and/or Used Tax is included in this contract.

**NO FINAL WASHING OR CLEANING OF GLASS OR ALUMINUM**

WE ARE NOT RESPONSIBLE FOR DAMAGE TO GLASS OR ALUMINUM BY OTHER TRADES.

NO CONSTRUCTION PROTECTION. NO TEMPORARY ENCLOSURES OR HEATING. NO CAULKING.

CONTRACT GOOD FOR THIRTY (30) DAYS FROM DATE.

BREAKAGE: Resulting from conditions beyond our control will be charged as extras.

FREIGHT: F.O.B. shipping point, freight allowed.

Accepted

By

**FARGO GLASS OF BISMARCK**

By

Steve McGillivray

An Equal Opportunity Employer



3323 East Broadway Avenue  
Bismarck, ND 58501  
701-258-5600 ~ FAX 701-221-2601

Requested By: Mike Joyce  
235 West Broadway Ave  
Bismarck, ND 58501

March 09, 2017

For Property Located At:  
208 East Main Avenue  
Bismarck, ND 58501

We Propose to Furnish & Install the following based on plans & specifications  
provided by: Mike / Site Visit.

(2) Clear Finish Tubelite Doors & Frames. Doors to be Narrow Stile with 10" Bottom Rails,  
Standard Push/Pull Hardware, MS Lock, CR441 Heavy-Duty Door Closers & 1" Clear Low-E  
Tempered Insulated Glass. Store Front Window to be Tubelite T-14000 Anodized Aluminum  
with 1" Low-E Insulated Glass (Tempered Where Required) with All Flatstock Wrap Included  
For The Net Sum Of:.....\$16,750.00

NOTE: Price includes removal/disposal of existing materials.

NOTICES: We Are NOT Responsible For Damage To Glass or Aluminum By Other Trades or Damages to any External Surfaces during  
Remodeling-Type Projects. No Construction Protection. No Temporary Enclosures or Heating. No Caulking or Final Washing or Cleaning of Glass  
or Aluminum, unless proposed above. Breakages resulting from conditions beyond our control will be charged as extras. Freight & Sales Tax  
Included unless otherwise noted above. Customer is responsible for all Late Fees & Collections Charges in Cases of Default.

CONTRACT IS GUARANTEED FOR 30 DAYS ONLY. **Terms:** Due Upon Completion unless previously negotiated.

ACCEPTED BY: \_\_\_\_\_

BY: Tom Wangler

Tom Wangler, President  
Superior Glass, Inc.

ACCEPTANCE DATE: \_\_\_\_\_

*\*Please sign/date/return to authorize materials to be ordered*





## STAFF REPORT

City of Bismarck  
Community Development Department  
Planning Division

Agenda Item # 4

April 13, 2017

**Application for: Downtown Design Review**

TRAKiT Project ID: DDR2017-004

### Project Summary

Title:	Bismarck Depot Façade Renovations
Status:	Renaissance Zone Authority
Owner(s):	Dale Zimmerman
Project Contact:	Kevin Ruhland, AIA, JLG Architects
Address:	401 – 411 East Main Avenue
Location:	On the south side of East Main Avenue, between North 4 <sup>th</sup> Street and North 5 <sup>th</sup> Street.
Request:	Renovate the west side of the Bismarck Depot building for use as a microbrewery/restaurant including minor exterior modifications to the façade of the building.



West End of Depot Building at 411 East Main Avenue

### Applicant Project Description

The existing Northern Pacific Railway Depot building was designed by Cass Gilbert, built in 1901, and is on the National Register of Historic Places.

The current depot is split into 3 sections:

- 1,800 SF upper level and upper level mezzanine. Currently occupied by Downtowners Association.
- 1,500 SF main level west wing. Finishes down to existing structure.
- 4,200 SF main level east wing, main level central core, and mezzanine above kitchen (formerly occupied by Fiesta Villa Restaurant).

The planned program for the renovated facility will be the following:

- Convert the west wing into a microbrewery and quick food service restaurant to be named "Edwinton Brewery."
- Light cosmetic updates to the east wing of the building (former Fiesta Villa Restaurant seating and bar area)
- Complete renovation of the kitchen, mezzanine above kitchen at the central section of the first floor to serve both brewery and restaurant.

The exterior walls are 18" cast-in-place concrete with a series of 7'-0" wide by 10'-0" arched openings. The

(continued)

roof structure consists of wood trusses running north south, wood girts, wood 1x4 roof underlayment, and clay tile. The roof structure sits directly on the cast-in-place exterior concrete walls. The interior walls are a combination of cast-in-place concrete and gypsum board. Several of the load-bearing interior concrete walls have already been compromised to allow for HVAC systems previously installed. The interior finishes are a combination of exposed concrete, broadloom carpet, quarry tile, exposed concrete flooring, exposed roof structure, gypsum board, ceiling tiles, and acoustical ceiling tiles. Consideration will be made to maintain existing architecturally significant elements, such as original tile, without compromising the integrity of the future lifespan of the building.

New exterior materials will be the following:

- Several of the existing windows will be replaced with wood windows and doors in the same style, materials and color as the existing windows.
- Repairs will be made to replace any damaged roof tiles and rotten fascia boards with the same materials as existing.
- A new detached, wood-framed canopy from the building to exterior cooler will be constructed with similar materials and colors as the building.

### Staff Analysis

The applicant is requesting approval of the Downtown Design Review Committee, which is required for alterations to buildings within the DC – Downtown Core zoning district.

The Bismarck Depot was constructed in 1900 and 1901 and has been listed in the National Register of Historic Places since 1976. It is also a contributing structure to the Downtown Bismarck Historic District.

Because of the historic nature of this building, the applicant sought the opinion of the State Historic Preservation Office (SHPO) during the design process. The SHPO reviewed the proposed changes and issued a letter, which is attached to this report. All of the

alterations within the final design submitted with this application were found to have “no adverse effect” on the historic integrity, as long as certain conditions are met during the renovation process.

The applicant intends to replace existing windows on the west side of the building with one main door to the restaurant and two tri-fold doors that can be opened to outdoor seating. The SHPO supported this change because these openings were originally used as doors and were converted to windows at a later date. They did not support the use of doors on the east side openings or the third opening on the west side, and these openings are not proposed to be altered in the submitted designs.

At one time, the City of Bismarck held an historic preservation easement on this property that was attached to a loan that was granted for rehabilitation work in the 1980s. The stated duration of this easement has lapsed and the terms of the easement are no longer in effect.

The other exterior alterations are intended for maintenance or minor upgrades of in-kind replacements that will match the existing context. As described, these should not have a significant impact on the design of the building.

The design of the outdoor seating area is not within scope of this project. The Renaissance Zone Authority may consider including a condition that any fencing or other materials used in this seating area conform to the existing character of the building or other downtown outdoor seating areas.

The applicant is also seeking a special use permit to operate a brewery, and a public hearing with the Planning and Zoning Commission is scheduled for April 26, 2017. Any issues involving the operation of the brewery will be addressed during that process.

The proposed project is supported by several goals in the Downtown Design Guidelines, including:

1. Draw on existing site characteristics to further define and enhance the sense of place.

(continued)

2. Create buildings that are adaptable. *Note: In this case, adapting an existing building for a new use.*
3. Use material that complements the material of the surrounding context.
4. Create distinguishable easily-identified entrances.
5. Require ground level retail and service frontages.

Design Guidelines, and other relevant plans and policies.

#### **Staff Recommendation**

Based on the above findings, staff recommends approval of the proposed design as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation.

#### **Required Findings of Fact**

1. The proposed design conforms to Sections 4-04-09, 14-04-21.1, and 14-04-21.2 of the Bismarck Code of Ordinances, relating to Design Standards within the DC – Downtown Core and DF – Downtown Fringe zoning districts.
2. The proposed design generally conforms to the purpose and intent of the 2015 Downtown

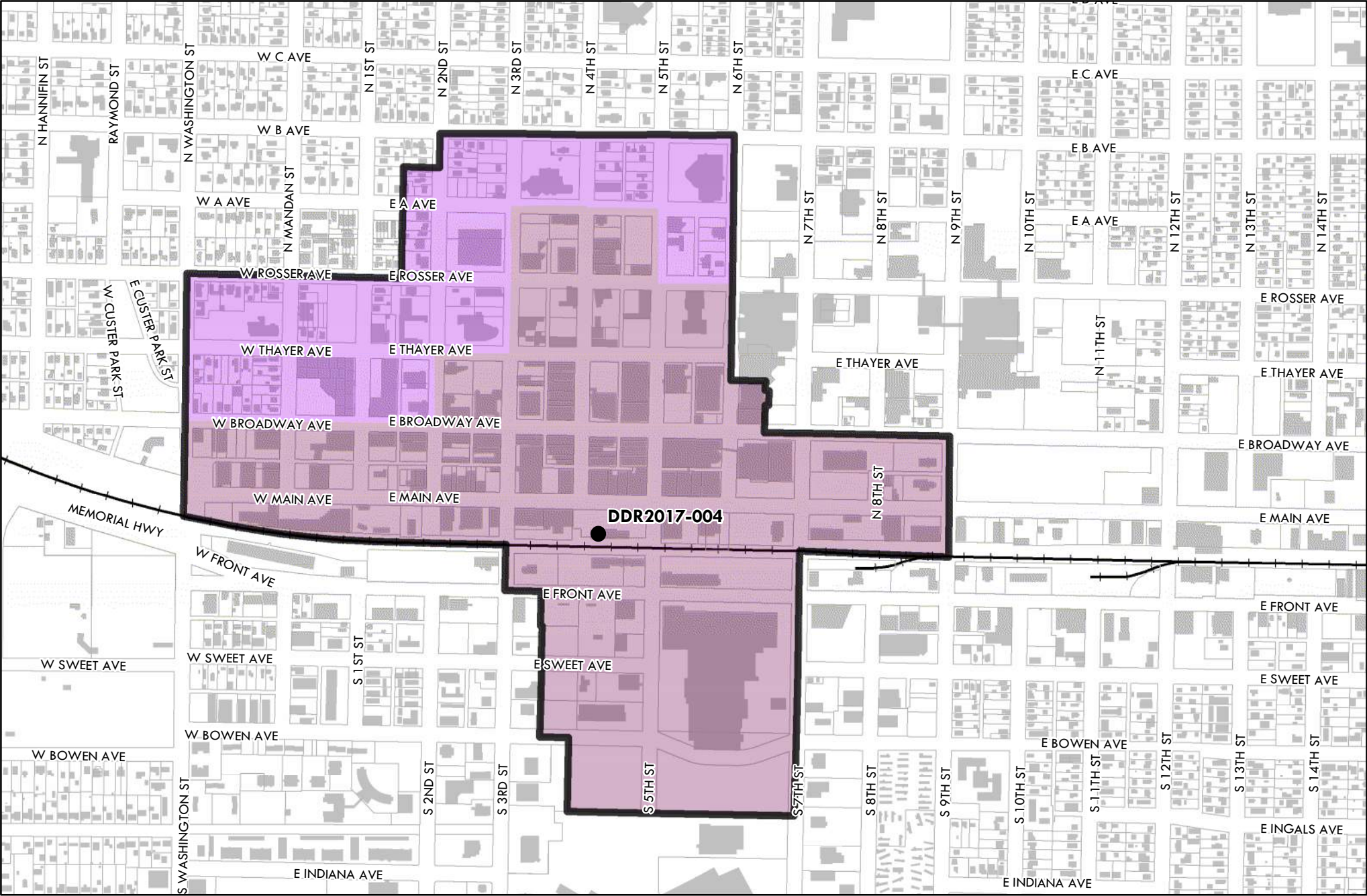
#### **Attachments**

1. Location Map
2. Submitted design documents
3. Letter from State Historic Preservation Office

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Staff report prepared by: Daniel Nairn, AICP, Planner  
701-355-1845 | [dnairn@bismarcknd.gov](mailto:dnairn@bismarcknd.gov)

## Downtown Design Review - Project Location Map



**City of Bismarck**  
**Community Development Department- Planning Division**

This map is for representational use only and does not represent a survey. No liability is assumed as to the accuracy of the data delineated hereon.

0 250 500 1,000 Feet  
**March 28, 2017**

This map is for representational use only and does not represent a survey. No liability is assumed as to the accuracy of the data delineated hereon.

0 250 500 1,000 Feet

**March 28, 2017**

N

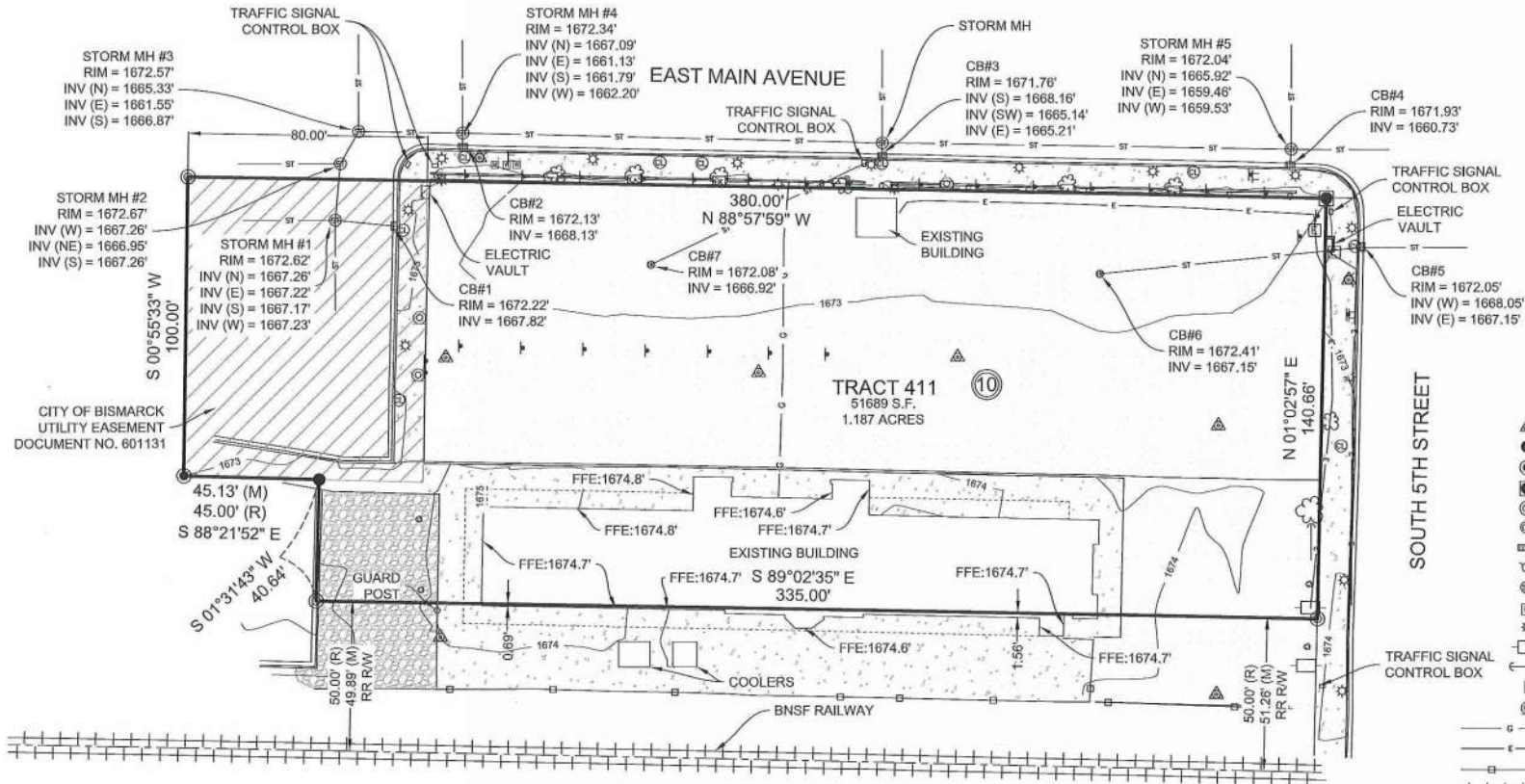
0 250 500 1,000 Feet

**March 28, 2017**

N

March 28, 2017 





- LEGEND:**
- ▲ CONTROL POINT
  - "X" IN CONCRETE - FOUND
  - HOLE IN CONCRETE NO PIN - FOUND
  - ⊙ PK NAIL - FOUND
  - ⊙ CALCULATED CORNER
  - ⊙ SEWER CLEANOUT
  - ⊙ CATCH BASIN
  - ⊙ FIRE HYDRANT
  - ⊙ STORM MANHOLE
  - ⊙ ELECTRIC METER
  - ⊙ LIGHT POLE
  - ⊙ POWER POLE
  - ⊙ GUY WIRE
  - ⊙ SIGN
  - ⊙ TREE STUMP
  - GAS LINE
  - UNDERGROUND ELECTRIC LINE
  - WOOD FENCE
  - RAILROAD TRACKS
  - ☼ TREE
  - ▭ ASPHALT PAVEMENT
  - ▭ CONCRETE PAVEMENT
  - ▭ GRAVEL PAVEMENT

**Note:**

Survey is based on local site  
Units: International Feet  
Distances shown are ground distances

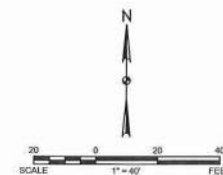
Said tract of land is subject to any  
easement, restrictions or reservations,  
either existing or of record.

Bearings and distances may vary from  
previous plats due to different methods of  
measurements.

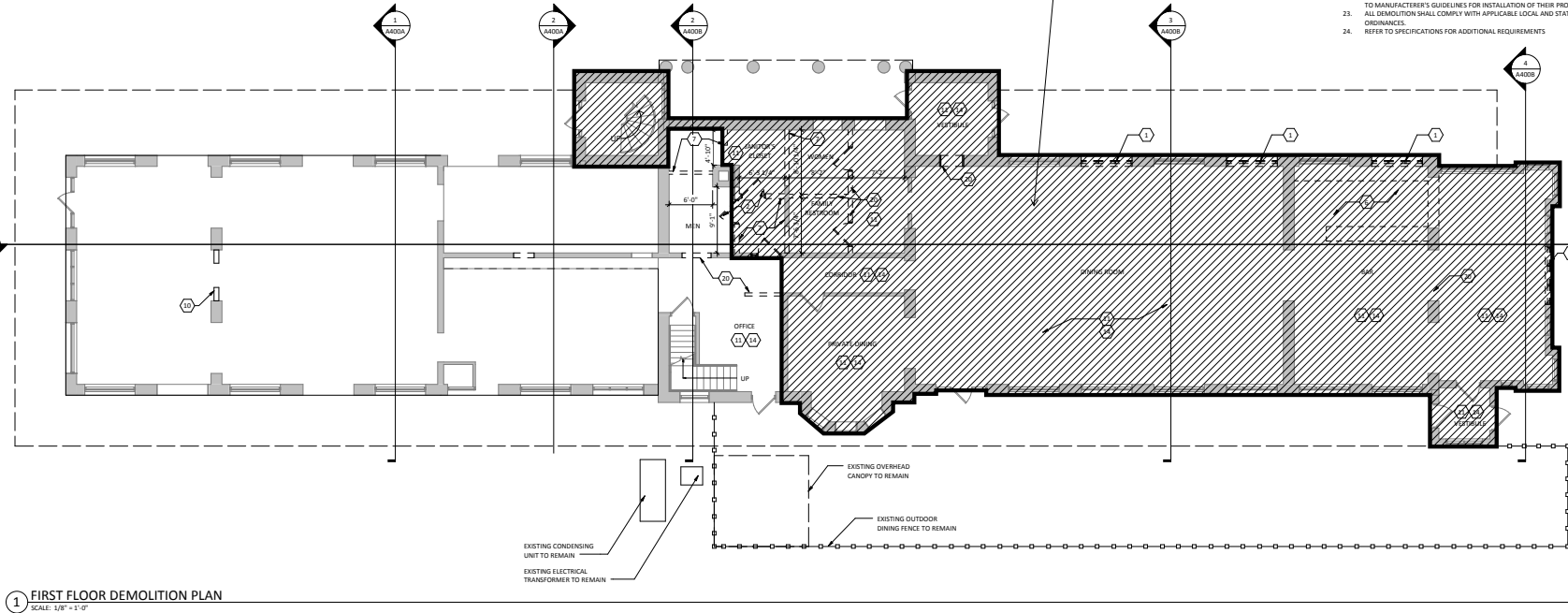
I, Kent A. Orvik, Professional Land Surveyor, N.D. PLS No. 3463, do hereby  
certify that the survey shown hereon was made by me, or under my direction,  
from notes made in the field, and the same is true and correct to the best of  
my knowledge and belief. The field survey was performed May 12, 2015.

Kent A. Orvik  
N.D. PLS No. 3463

Date

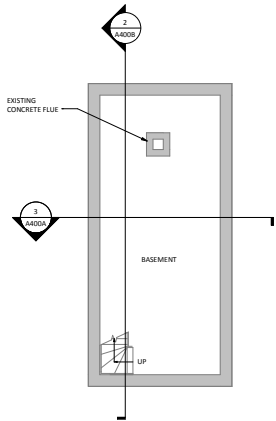


TOPOGRAPHIC SURVEY		PROJECT NO.
DALE ZIMMERMAN		
BISMARCK, NORTH DAKOTA		
DOWNTOWN BISMARCK		
PLAZA DESIGN		
411 EAST MAIN AVENUE		
BISMARCK, NORTH DAKOTA		
DRAWN BY	CHECKED	PROJECT NO.
FJM	AKJ	1616027
		05/20/15



1 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

2 BASEMENT DEMOLITION  
SCALE: 1/8" = 1'-0"



KEYNOTES - FIRST FLOOR AND BASEMENT DEMOLITION	
Value	Note
1	REMOVE EXISTING WINDOW AND CONCRETE BASE. SEE SHEET A100.
2	REMOVE EXISTING DOOR AND ADJACENT JOISTS.
3	SAWCUT A NEW DOORWAY OPENING OF SIZE AND LOCATION INDICATED IN THE EXISTING CONCRETE WALL CONSTRUCTION. DO NOT OVERCUT THE CORNERS OF THE OPENING AND DO NOT DAMAGE THE EXISTING CONCRETE TO REMAIN. TEMPORARY SHORING IS NOT REQUIRED. A NEW HEADER BEAM IS ALSO NOT REQUIRED. INSPECT THE CONDITION OF THE WALL ABOVE THE NEW OPENING TO ASSURE THE CONCRETE IS SOUND AND FREE OF CRACKS PRIOR TO CUTTING THE OPENINGS. NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER AND DO NOT CUT THE OPENINGS IF THE CONCRETE IS UNSOUND IN ANY WAY. AS A NEW HEADER BEAM MAY BE REQUIRED.
4	REMOVE EXISTING SPIRAL STAIR.
5	REMOVE EXISTING COOLER.
6	REMOVE EXISTING BAR.
7	REMOVE PORTION OF EXISTING PARTITION WALL.
8	REMOVE EXISTING WOOD SUB FLOOR.
9	REMOVE EXISTING CONCRETE SLAB.
10	REMOVE EXISTING WALL INFILL TO EXTENTS OF EXISTING LARGE ARCHWAY - REFER TO STRUCTURAL.
11	REMOVE EXISTING FLOOR FINISHES.
12	REMOVE EXISTING LIGHT FIXTURE - SEE ELECTRICAL.
13	SEE ELECTRICAL AND MECHANICAL PLANS FOR EXTENT OF MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION.
14	REMOVE EXISTING COOLER. REMOVE IN ITS ENTIRETY.
15	REMOVE EXISTING BARREL VAULT CEILING TO BE REMOVED.
16	REMOVE ALL WALL, FLOOR, AND CEILING FINISHES IN THEIR ENTIRETY THROUGHOUT THIS AREA.
17	REMOVE PORTION OF WALL. SEE STRUCTURAL.

DEMOLITION LEGEND

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- TEMPORARY CONSTRUCTION PARTITIONS AS REQUIRED (1 HR FIRE RATED CONSTRUCTION)
- FOR ENTIRE FLOOR IN SHADDED AREA COMPLETELY REMOVE ALL EXISTING FLOOR FINISHES (AT ROOMS AND/OR AREAS TO REMAIN AND RECEIVE NEW FLOOR FINISHES, LEAVE SUB FLOOR CLEAN AND PREPARED FOR NEW WORK.
- COMPLETELY REMOVE ALL EXISTING CEILING (I.E. G. EITHER LAY IN PLASTER, OR GYP. BD. INCLUDING ALL CURTAIN, CEILING MOUNTED EQUIPMENT, SUPPORTS, TRACKS ETC.)

ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.

REFER TO FINISH SCHEDULE FOR AN ADDITIONAL FINISH WORK REQUIRED IN OTHER AREAS THAT ARE NOT DOCUMENTED TO RECEIVE DEMOLITION/REMOVAL WORK AS INDICATED ON DEMOLITION PLANS, (TYPICAL).

DEMOLITION GENERAL NOTES

- THE OWNER'S NORMAL OPERATIONS WILL BE CONTINUED DURING DEMOLITION. CONTRACTOR SHALL NOT INTERFERE WITH THESE OPERATIONS IN ANY WAY WITHOUT THE OWNER'S EXPRESSED CONSENT.
- OWNER WILL OCCUPY PORTIONS OF THE BUILDING IMMEDIATELY ADJACENT TO AREAS OF SELECTIVE DEMOLITION. CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S NORMAL OPERATIONS. REFER TO SPECIFICATIONS FOR MINIMUM ADVANCE NOTICE TO OWNER.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- PROVIDE 1 - HOUR FIRE RESISTANT CONSTRUCTION BARRIERS WHERE REQ'D TO PROTECT EXISTING CONSTRUCTION AND OWNER'S OPERATIONS.
- PROTECT EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS FROM DAMAGE.
- PROTECT FLOORS WITH SUITABLE COVERING WHEN NECESSARY.
- COVER AND PROTECT FURNITURE, EQUIPMENT, AND FIXTURES FROM SOILAGE OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL FLOOR PENETRATIONS, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC. AND ANY WALLS THAT CONTAIN LIFE SAFETY VERTICAL RISERS THAT MUST REMAIN IN OPERATION DURING THE DEMOLITION WORK. CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS, AND FLOOR ELEVATIONS IN FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OF DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY OWNER'S REPRESENTATIVE.
- MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR LEGAL FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
- WHERE DEMOLITION IS REQ'D BEYOND THE LIMITS OF THE CONTRACT TO ROUTE NEW DUCTWORK, PIPING, CONDUITS ETC., RATED WALLS AND SMOKE BARRIERS REQUIRING PENETRATIONS SHALL BE PATCHED BY CONTRACTOR. ALL FINISHES DAMAGED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN TO THE CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION ON SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION.
- PROVIDE SHORING, BRACING AND ANY OTHER MEANS REQ'D TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION.
- WHEN ROOFING, GLAZING, FLASHING, COPING OR WHEN PORTIONS OF EXTERIOR WALLS ARE REMOVED OR OPENED, SUITABLE WEATHER PROTECTION SHALL BE PROVIDED AND MAINTAINED FOR THE DURATION OF WORK.
- REMOVAL OF ITEMS NOTED INCLUDES REMOVAL OF ANCHORS, ADHESIVES, HARDWARE, CONDUIT, WIRE, PIPING, ETC. FOR A COMPLETE REMOVAL OF THE ITEMS OR SYSTEMS. WHEREVER WATER CLOSURES, FLOOR DINGS OR OTHER EQUIPMENT AND RELATED PIPING ARE TO BE REMOVED, PATCH FLOOR SLAB W/ CONCRETE AS REQUIRED.
- ALL CONCRETE FLOOR SLABS NOTED TO BE REMOVED SHALL BE SAWCUT TO PROVIDE A NEAT JOINT.
- SEE MECHANICAL, CIVIL, AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
- SALVAGE ALL EXISTING REMOVED BRICK FOR PATCHING AND REFINISH WORK AS REQ'D - TYPICAL.
- DEMOLITION OF ANY EXISTING CONSTRUCTION SHALL INCLUDE WHAT IS NECESSARY AND REQ'D TO ACCOMMODATE THE REQUIREMENTS OF NEW CONSTRUCTION. REFER TO THE APPROPRIATE DRAWINGS AS TO THE EXTENT OF NEW CONSTRUCTION TO REMAIN.
- SURFACES TO RECEIVE NEW MATERIALS SHALL BE CLEANED AND PREPARED ACCORDING TO MANUFACTURER'S GUIDELINES FOR INSTALLATION OF THEIR PRODUCT.
- ALL DEMOLITION SHALL COMPLY WITH APPLICABLE LOCAL AND STATE CODES AND ORDINANCES. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

PEACOCK ALLEY

BISMARCK DEPOT RENOVATION  
BISMARCK, NORTH DAKOTA

05/27/2016

PROJECT  
BP-2

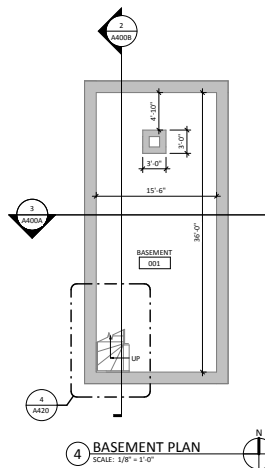
PROJECT  
JLG 15075

SHEET  
A101  
DEMOLITION PLANS

PRELIMINARY  
NOT FOR CONSTRUCTION

No.	Description	Date
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JLG  
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416 East Main Avenue  
Bismarck, ND 58501  
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fax: 701.255.1617  
www.jlgarchitect.com  
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KEYNOTES - BASEMENT AND FIRST FLOOR	
Value	Note
1	EXISTING CANOPY
2	EXISTING CONDENSATION UNIT
3	EXISTING TRANSFORMER

### FLOOR PLAN GENERAL NOTES

1. FOR TYPE BARBIEE FREE LOOT ROOM TYPES AND ACCESSORY  
REINETS AND LOCATIONS SET DWG 6203
2. ALL PARTITION TYPES ARE "T" TYPE UNLESS OTHERWISE  
NOTED.
3. COORDINATE PARTITION FREE RATE REQUIREMENTS AS NOTICED ON  
CROSS SECTION PLANS. DISCREPANCIES ARE TO BE  
TYPICALLY INSTALL SPACERS AND PAPER TOWEL DISPENSERS  
AT ALL SINKS UNLESS NOTED OTHERWISE.
4. ALL SINKS TO BE 18" WIDE, 24" DEEP, 18" HIGH, 18" X 18" AT WALL-  
MOUNTED SHELVES AND STORAGE UNITS, BURNER/BOILER, BULLETIN  
BOARD, REAR BOARD, AND REFRIGERATOR. ALL SINKS TO BE  
OWNER FURNISHED WALL-MOUNTED TYPES (REFER TO EQUIPMENT  
AND EQUIPMENT SCHEDULE) SET DWG AX-000.
5. FOR ALL CRYSTAL TYPE CHAIRS, SEATING, TRANSITION,  
SHALL OCCUPY CENTERLINE OF DOOR PANEL (TYPICAL) - U.N.O. SEE  
DWG 6203.
6. COORDINATE EQUIPMENT W/ ASTERISK (E, "X") W/ EQUIPMENT  
VENDOR.
7. PROVIDE BULLEND ON ALL CMJ OF OUTDOOR CORNERS.  
ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR MASONRY  
UNLESS OTHERWISE NOTED.
8. COORDINATE ALL FLOOR FINISH DIMENSIONS AND CLEARANCES  
FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.



**Bismarck**  
416 East Main Avenue  
Bismarck, ND 58501  
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[www.jlgarchitects.com](http://www.jlgarchitects.com)  
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**PRELIMINARY**  
NOT FOR CONSTRUCTION

No.	Description	Date
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PEACOCK ALLEY  
**BISMARCK DEPOT RENOVATION**  
BISMARCK, NORTH DAKOTA

05/27/2016

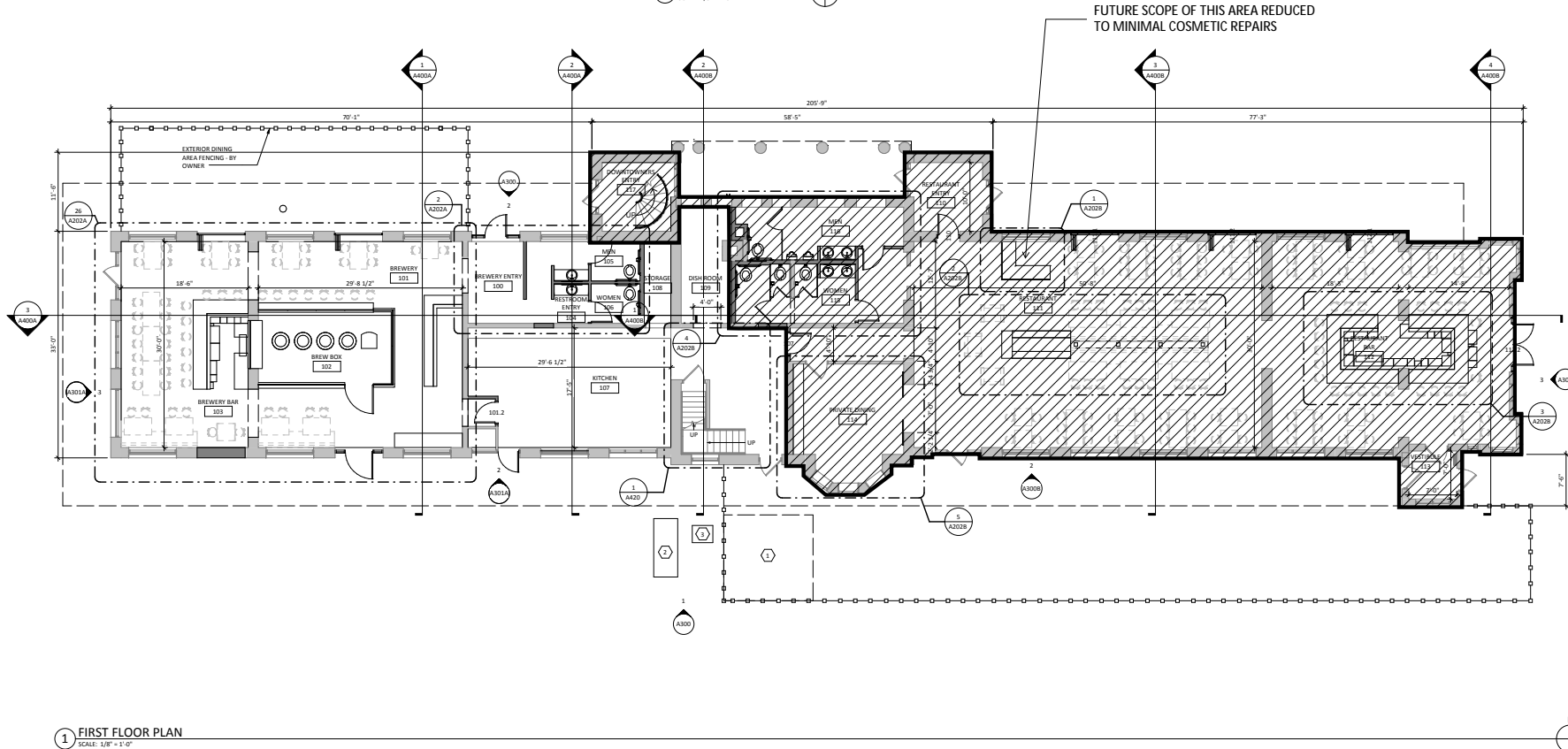
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PROJECT  
JLG 15075

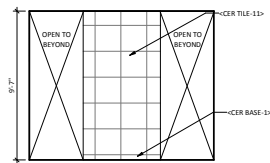
SHEET

## A201

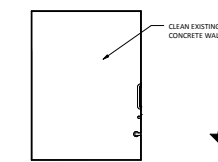
FLOOR PLANS



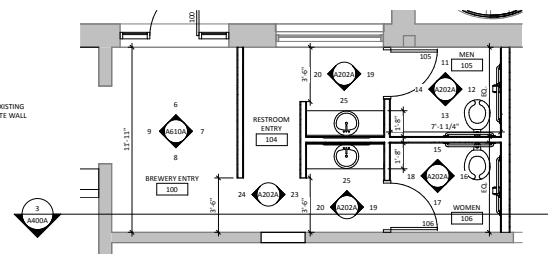
**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



23 BREWERY RESTROOM ENTRY EAST  
SCALE: 1/4" = 1'-0"



11 RESTROOM 105A - NORTH  
SCALE: 1/4" = 1'-0"



2 BREWERY RESTROOMS PLAN  
SCALE: 1/4" = 1'-0"

No.	Description	Date
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**PRELIMINARY**  
NOT FOR CONSTRUCTION

PEACOCK ALLEY  
**BISMARCK DEPOT RENOVATION**  
BISMARCK, NORTH DAKOTA

**PEACOCK ALLEY**

DATE  
06/24/16

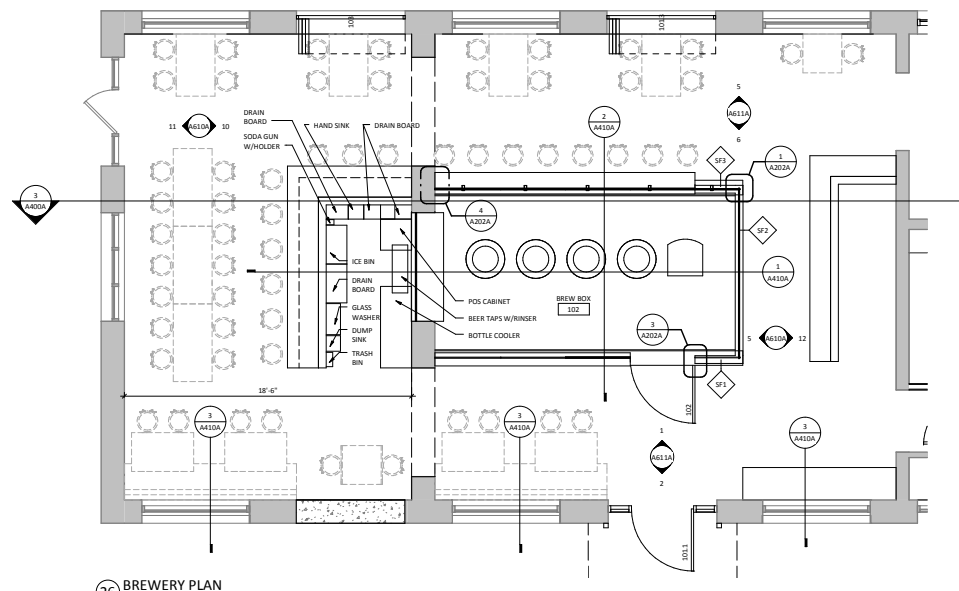
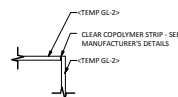
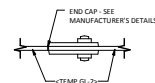
PHASE  
BP-2

PROJECT  
JLG 15075

SHEET

# A202A

WEST END ENLARGED  
PLANS AND DETAILS



PRELIMINARY  
NOT FOR CONSTRUCTION

No.	Description	Date
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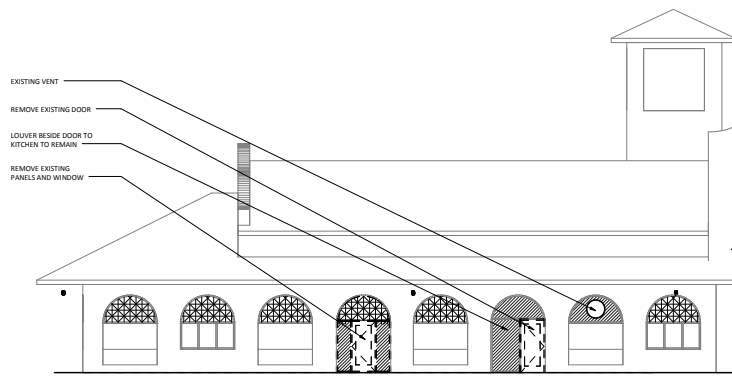
PEACOCK ALLEY  
**BISMARCK DEPOT RENOVATION**  
BISMARCK, NORTH DAKOTA

06/24/16

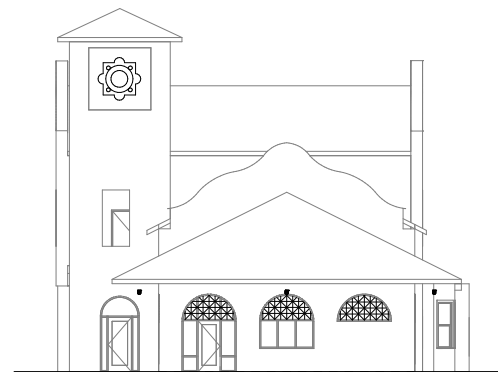
BP-1

PROJECT  
JLG 15075

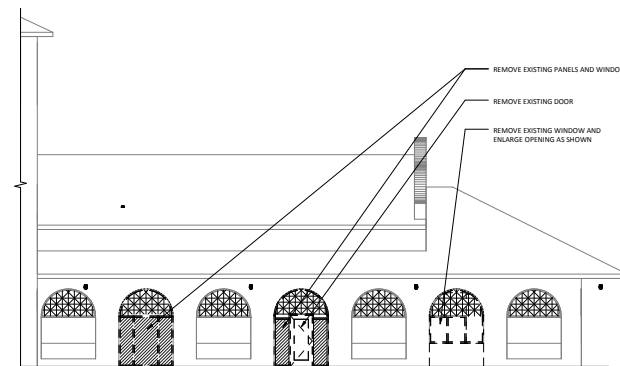
SHEET  
**A300A**  
WEST END EXTERIOR  
DEMOLITION  
ELEVATIONS



② WEST END SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



③ WEST END WEST ELEVATION  
SCALE: 1/8" = 1'-0"



① WEST END NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



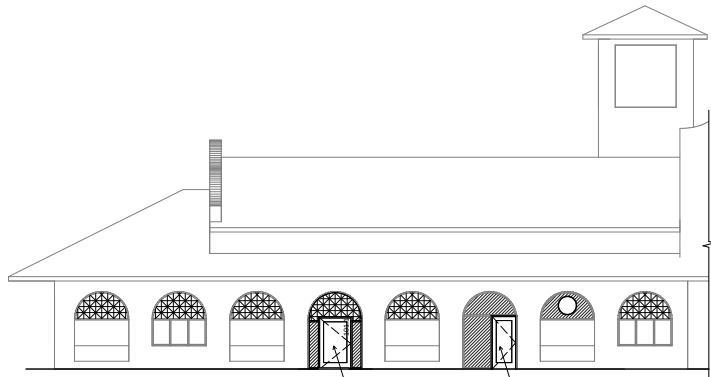
EXISTING SOUTHSIDE OF WEST WING



EXISTING WEST ELEVATION



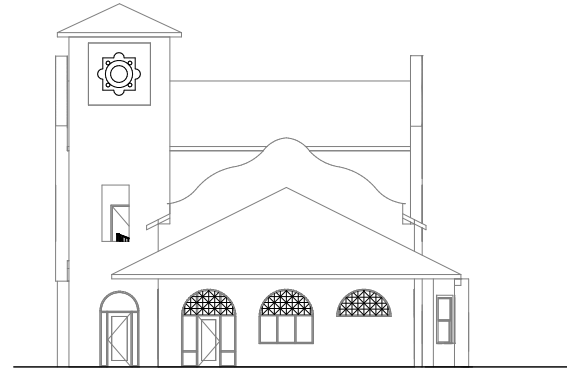
EXISTING NORTH ELEVATION



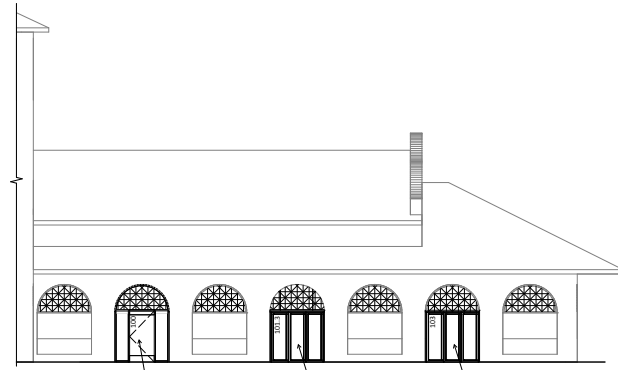
② WEST END SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

REPLACE EXISTING DOOR AND WINDOW WITH WIDER DOOR AND WINDOW. COLOR AND MATERIALS OF NEW DOOR AND WINDOW TO MATCH EXISTING WINDOWS.

REPLACE EXISTING DOOR. COLOR AND MATERIALS OF NEW DOOR TO MATCH EXISTING WINDOWS.



③ WEST END WEST ELEVATION  
SCALE: 1/8" = 1'-0"



① WEST END NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

REPLACE EXISTING PARTITION WALL WITH NEW DOOR AND WINDOWS. COLOR AND MATERIALS OF NEW DOOR TO MATCH EXISTING WINDOWS.

REPLACE EXISTING DOOR AND WOODEN SIDE WALLS WITH T&B FOLD DOORS. MATCH SAME MATERIALS AND COLORS AS EXISTING WINDOWS.

ENLARGE OPENING TO ACCOMMODATE T&B FOLD DOORS WITH SAME MATERIALS AND COLORS AS EXISTING WINDOWS.

PRELIMINARY  
NOT FOR CONSTRUCTION

No.	Description	Date
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PEACOCK ALLEY  
**BISMARCK DEPOT RENOVATION**  
BISMARCK, NORTH DAKOTA

06/28/16

BP-2

PROJECT  
JLG 15075

**A301A**  
WEST END EXTERIOR  
ELEVATIONS

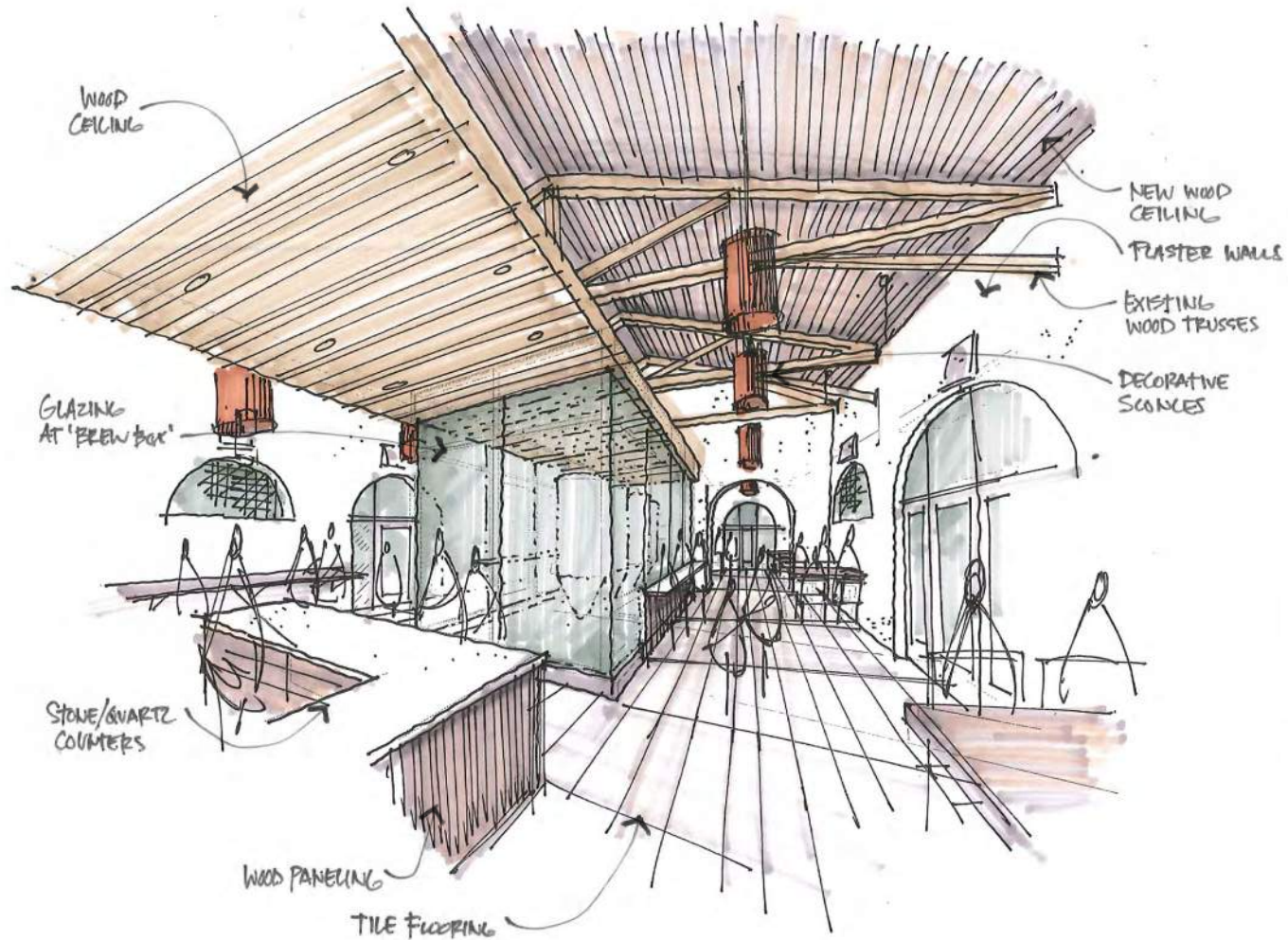




# 15075 DEPOT RENOVATION : EXISTING EXTERIOR CONDITIONS

APRIL 7, 2016 | © 2016 JLG ARCHITECTS





# 15075 DEPOT RENOVATION : EDWINTON BREWERY INTERIOR PERSPECTIVE

APRIL 7, 2016 | © 2016 JLG ARCHITECTS



Jack Dalrymple  
*Governor of North Dakota*

June 21, 2016

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We have reviewed NDSHPO 16-5544, Renovation of Bismarck NP Depot, 400 East Main Street, Bismarck, Burleigh County, North Dakota. As this structure was built in 1901 and is listed in the National Register of Historic Places and is an important landmark within the city of Bismarck, we have a number of concerns related to this planned renovation. Items reviewed are only those of which NDSHPO was made aware at the time of the request.

It is our understanding that this structure will be renovated in 2 sections, the first being the portion of the building to the west of the central area containing the kitchen and restrooms hereafter referred to as “The Brewery” and the second being the portion to the east of this central area hereafter referred to as “The Restaurant”. The kitchen and restroom areas will be shared by both the Brewery and the Restaurant.

If consulted by a federal agency we would concur with a determination of “No Adverse Effect” provided that this project takes place in the location and in the manner described in the documentation and with the following conditions:

1. External changes to the structure should maintain the original marble chip encrusted concrete. This concrete façade is an integral part of the character of the building being a unique treatment for that time. Should any of the several china dolls embedded in the structure be located during the renovation they should remain in place and be preserved.
2. Any windows which are to be replaced should be replaced in kind with wood framed windows in the same configuration and style as the originals. There appear to be a number which were replaced at a some point and which have a thicker profile to the decorative woodwork in the semi-circular portion at the top of the window, if these are replaced it should be with the thinner type of design as is in the original windows. However if it is not necessary to replace them, they may remain as is. Any originals which are replaced should maintain the narrower decorative portions.
3. It has been requested to create 3 new tri-fold doors on both the eastern and western portions of the project, in some cases replacing windows with doors. The replacement of a window with a door is not in keeping with the Secretary of the Interior’s Standards and should be avoided. In the Brewery Section the north side doors requested to be the 2<sup>nd</sup>, 4<sup>th</sup> and 6<sup>th</sup> recessed openings from the north-west corner. As it has been determined that these openings were originally doors, these changes are determined to have “No Adverse Effect”. In the Restaurant section the north-side doors are requested to be the 1st, 3rd and 5<sup>th</sup> recessed openings from the north-east corner of the original structure (changes to the addition on the east side are not of concern). It has been determined that the 1<sup>st</sup> and 5<sup>th</sup> openings were originally doors; these changes are determined to have “No Adverse Effect”. The 3<sup>rd</sup> opening was originally a window and should remain so. Changing this opening to a door would be an “Adverse Effect”.
4. The addition of a balcony on the south side of the structure would be an “Adverse Effect”.

5. The removal of the vaulted ceiling in the Restaurant area would be an "Adverse Effect". The vaulted ceiling is original and should remain. Any required openings for sprinklers should utilize existing if possible and if new openings are required they should be as small as is practicable and should be camouflaged or trimmed to reduce their impact. The ceiling may be painted if desired, although we would recommend that the architect/owner consider the significance of the artist who painted the decorative mural before deciding to do so.
6. The decorative tile-work at the picture rail level of the Restaurant space as well as the tile NP logos are original and should remain.
7. If the original terrazzo floors are discovered under the existing flooring during renovation every effort should be made to retain them. Only if they are entirely beyond repair should they be replaced, although removable flooring may be installed on top of them if desired provided that it does not damage them.
8. The placement of furniture or other removable fixtures is not of concern and should conform to the design and taste of the architect/owner. Light fixtures are likewise removable and the style is not of concern although every effort should be made to maintain the number and location of fixtures to avoid cutting new openings into the walls.
9. Should any additional historic features be uncovered during the renovation, NDSHPO should be consulted in order to determine their significance and whether they should be left in place.
10. The plans presented for Renovations to the kitchen, bathrooms and mechanical rooms are acceptable as noted in the attachment.

Thank you for the opportunity to review this project. If you have any questions please contact Lisa Steckler, Preservation Planner at (701) 328-3577, e-mail [lsteckler@nd.gov](mailto:lsteckler@nd.gov)

Sincerely,



Claudia J. Berg  
State Historic Preservation Officer  
(North Dakota)

Attachment

CC: Kevin Ruhland, JLG

Katie Eckdahl, Lewis and Clark RDC

City of Bismarck

The following items were presented by the architect with regards to structural changes to the Bismarck NP Depot. Any items not on this list were not provided to NDSHPO and were therefore not reviewed. Items have been abbreviated to remove technical specifications which do not effect determination.

#### New Brewery:

- Remove existing concrete slab-on-grade in brewery area within "brew box" extending east to the kitchen wall and replace with a new concrete slab-on-grade with an integral curb around perimeter.
- Fill existing vault in southwest corner of brewery with engineered fill and cast new slab-on grade.
- Cast new concrete floor slab/topping over existing concrete floor slab in the southwest corner of the brewery bar leaving wood/timber strips in place. Remove existing concrete below the existing archways
- Maintain existing thicker concrete arches at approximately 7' wide creating the new openings in place. Grind the new concrete edges and surfaces removing saw marks and sharp edges.
- Infill the existing mechanical duct opening in the north/south concrete wall above the center opening in the west interior concrete wall. In-fill the opening with a new steel beam header extending 12" past each opening jamb.
- Repair existing cracks in the west interior concrete wall
- The existing concrete floor to remain in the brewery area will be ground smooth and significant sized cracks will be in filled.
- Foundation stoop for new entry door on the north exterior wall and new exit door on the south exterior wall. North side doors to be the 2<sup>nd</sup>, 4<sup>th</sup> and 6<sup>th</sup> recessed openings from the north-west corner.
- The new stoop shall be approximately 5' wide and 4' deep and shall consist of 8" thick reinforced concrete frost walls supported by strip footings.

#### New Kitchen/Storage Areas:

- Two new openings will be saw-cut into the existing interior concrete wall running north-south separating the new kitchen from the brewery.
- A new opening in the east-west interior concrete wall will be created for access to the Dish Room.
- A new opening will be created thru the interior concrete wall between the mechanical mezzanine and the existing second floor space occupied by the Downtowners for access to the mechanical mezzanine.
- The existing mechanical mezzanine floor over the kitchen will be analyzed for support of completely new mechanical equipment as the existing mechanical equipment will be removed and replaced.
- A new portion of mezzanine floor shall be constructed to infill the floor opening on the south side of the mezzanine area.

#### New Restrooms:

- The existing masonry chimney/chase located in the toilet area near the middle of the building will remain.
- Two new openings will be created in the existing concrete wall running north-south thru the toilets.

#### New Restaurant:

- An opening in the existing roof framing will be created to allow for the new fire-pit flue.
- The new fire-pit will contain a steel edging plate suspended above the fire-pit from the existing roof framing. At a face-to-face meeting with the architect it was indicated that there would no longer be a need for new openings into the roof.
- Foundation stoops for three new tri-fold doors to be installed on the north exterior wall of the restaurant. North-side doors to be the 1st, 3rd and 5<sup>th</sup> recessed openings from the north-east corner of original structure.
- Foundation stoop for new double door on the east exterior wall of the restaurant.
- Foundation stoop for new entry door on the north exterior wall and new exit door on the south exterior wall.

#### MECHANICAL GENERAL INFORMATION BASE DESIGN CONCEPT

The fire protection, plumbing, and HVAC systems will be designed and constructed with emphasis placed on 1) Safety, 2) Reliability, 3) Maintainability, 4) Accessibility, and 5) Sustainability.

#### FIRE PROTECTION/SPRINKLER SYSTEMS (DIVISION 21)

##### SPRINKLER HEADS

Sprinkler heads shall be upright in exposed spaces. All sprinkler heads where installed in a room with a ceiling shall be of the recessed, concealed type. Finish plates for the concealed heads shall be white.

##### PLUMBING FIXTURES:

Plumbing fixtures will be specified to match existing fixtures and will be similar to the following:

1. Lavatories/Faucets – shall be wall hung china with integrated sports and wrist blade handles
2. Urinals – wall hung china with hard wired sensor flush valves
3. Water Closets – wall hung china with hard wired sensor flush valves
4. Sinks – stainless steel single bowl with solids interceptor, gooseneck spouts and wrist blade handles
5. Floor Drains – Round with brushed aluminum finish.
6. Floor Sinks: Stainless steel

#### ALTERNATE HEATING AND COOLING SYSTEM

##### 5.1 VRF SYSTEM – VARIABLE REFRIGERANT FLOW

System would utilize “cabinet unit” type boxes incorporated into benches or boxes placed below or above ceiling. Each unit is connected via a piping system and functions similar to a heat pump system.

Depending on how the controls system is set up, the system can be heating one area of the facility and cooling another area.

## Renaissance Zone Program

State ID	Applicant	Street Address	Project Type	Status	State Approval	Proposed Investment	Completion Date	Actual Investment	Jobs Created
0 - N/A	Bisman Community Food Cooperative	711 East Sweet Avenue	Lease	Denied	N/A	N/A	N/A	N/A	N/A
0 - N/A	Jerry and Renae Doan	711 East Sweet Avenue	Rehabilitation	Denied	N/A	\$829,724	N/A	N/A	N/A
001-B	George T. Duemeland Revocable Trust	301 East Thayer Avenue	Purchase w/ Major	Completed	1/2/03	\$44,366	12/1/03	\$66,397	0.00
002-B	Dakota Building Partnership	501 East Main Avenue	Purchase - Land	Completed	2/26/03	\$300,000	1/31/07	\$284,195	0.00
003-B	Civic Square Development LLC	521 East Main Avenue	Purchase w/ Major	Completed	4/21/03	\$600,000	12/31/07	\$618,111	0.00
004-B	Duemelands Commercial LLLP	301 East Thayer Avenue	Lease	Completed	9/25/03	N/A	12/1/03	N/A	2.00
005-B	John & Barbara Grinsteiner	200 North Mandan Street	Purchase	Completed	10/16/03	\$5,000	10/17/03	N/A	2.00
006-B	Woodmansee's	114 North 4th Street	Historic Rehabilitation	Completed	11/21/03	\$125,000	1/26/05	\$129,333	1.00
007-B	Bertsch Properties LLC	207 East Front Avenue	Rehabilitation	Completed	12/3/03	\$601,600	1/19/05	\$734,707	0.00
008-B	Northland Financial	207 East Front Avenue	Lease	Completed	12/3/03	N/A	9/16/04	N/A	14.25
009-B	Bertsch Properties LLC	218 South 3rd Street	Rehabilitation	Completed	12/3/03	\$329,150	1/20/05	\$378,013	20.00
010-B	Lee Enterprises Inc.	707 East Front Avenue	Rehabilitation	Completed	12/29/03	\$2,256,624	10/26/05	\$2,400,776	7.50
011-B	PJCM Partners, LLP	901/907 East Front Avenue	Rehabilitation	Completed	3/29/04	\$298,840	6/30/05	\$409,846	3.00
012-B	Mark Gartner	302 East Thayer Avenue	Rehabilitation	Completed	6/4/04	\$85,000	12/6/05	\$103,455	2.50
013-B	AW Enterprises	216 North 2nd Street	Rehabilitation	Completed	8/18/04	\$208,814	6/22/05	\$263,473	1.00
014-B	Daryl Rosenau & Clarence Saylor	225 West Broadway Avenue	Purchase	Completed	2/16/05	\$69,550	12/26/07	\$70,002	0.00
015-B	J & L Development, Inc.	324 North 3rd Street	Rehabilitation	Completed	2/16/05	\$750,000	9/15/06	\$698,396	6.00
016-B	Pirogue Grille, Inc.	121 North 4th Street	Lease	Completed	3/22/05	\$128,000	8/24/05	N/A	8.00
017-B	Zorells Jewelry Inc.	221 South 9th Street	New Construction	Completed	3/22/05	\$200,000	7/30/05	\$191,898	6.00
018-B	Petals and More	122 East Rosser	Rehabilitation	Withdrawn	9/21/05	\$64,675	N/A	N/A	N/A
019-B	CCC Properties, LLLP	310 South 5th Street	Purchase	Completed	9/21/05	\$168,000	7/1/06	\$298,372	0.00
020-B	American Bank Center	320 North 4th Street	Rehabilitation	Completed	10/4/05	\$3,100,000	8/1/09	\$2,301,478	10.00
021-B	Foot Care Associates PC	310 South 5th Street	Lease	Completed	2/3/05	N/A	4/1/06	N/A	3.50
022-B	Dentyne, Inc. (Bakke & Roller)	310 South 5th Street	Lease	Completed	2/3/05	N/A	3/13/06	N/A	12.00
023-B	Duemelands Properties, LLLP	302 South 3rd Street	Purchase	Completed	2/16/06	\$190,900	12/1/06	\$227,295	0.00
024-B	Duemelands Properties, LLLP	312 South 3rd Street	New Construction	Completed	2/16/06	\$215,223	12/1/06	\$233,855	0.00
025-B	Makoché Media, LLC	208 North 4th Street	Purchase	Completed	2/16/06	\$71,612	12/27/07	\$91,672	0.00
026-B	River Q, LLC	312 South 3rd Street	Lease	Completed	5/5/06	N/A	12/4/06	N/A	21.00
027-B	Gem Group LLC	412 East Main Avenue	Rehabilitation	Completed	5/30/06	\$40,000	10/20/06	\$50,292	0.00
028-B	Heartland Mortgage Company	412 East Main Avenue	Lease	Completed	5/30/06	N/A	7/1/06	N/A	4.00
029-B	Bismarck MSA dba Verizon Wireless	302 South 3rd Street	Lease	Completed	8/2/06	\$100,000	9/14/06	N/A	6.00
030-B	Main Avenue Properties, LLC	122 East Main Avenue	New Construction	Completed	12/5/06	\$3,020,590	12/17/07	\$2,370,152	0.00
031-B	Dakota Office Building, LLC	300 North 4th Street	Purchase	Completed	2/20/07	\$250,000	1/30/08	\$407,003	0.00
032-B	American Legal Services PC	521 East Main Avenue	Lease	Completed	4/19/07	N/A	8/1/07	N/A	5.00
033-B	Internet Design & Consulting	521 East Main Avenue	Lease	Completed	4/24/07	N/A	8/1/07	N/A	1.00
034-B	Larson Latham Heuttie LLP	521 East Main Avenue	Lease	Completed	6/8/07	N/A	7/1/07	N/A	9.00
035-B	Retirement Consulting LLC	521 East Main Avenue	Lease	Completed	6/8/07	N/A	7/1/07	N/A	2.00
036-B	Jason Kirchmeier & Associates	501 East Main Avenue	Lease	Completed	7/11/07	N/A	8/1/07	N/A	1.00
037-B	Roger Koski & Associates	501 East Main Avenue	Lease	Completed	7/11/07	N/A	8/1/07	N/A	1.00
038-B	Melvie Financial Planning	501 East Main Avenue	Lease	Completed	7/11/07	N/A	8/1/07	N/A	2.00
039-B	Westgard Financial Services	501 East Main Avenue	Lease	Completed	7/11/07	N/A	8/1/07	N/A	1.00
040-B	Rainmaker Gusto Ventures, LLC	116 North 5th Street	Purchase w/ Major	Completed	10/30/07	\$137,500	5/21/08	\$142,050	4.00
041-B	The Rainmaker Group, Inc.	116 North 5th Street	Lease	Completed	12/27/07	N/A	6/12/08	N/A	4.00
042-B	Capital Holdings, LLC	402 East Main Street	Rehabilitation	Withdrawn	12/27/07	N/A	N/A	N/A	N/A
043-B	Kinselco, Inc.	403 East Main Street	Lease	Withdrawn	12/27/07	N/A	N/A	N/A	N/A

## Renaissance Zone Program

State ID	Applicant	Street Address	Project Type	Status	State Approval	Proposed Investment	Completion Date	Actual Investment	Jobs Created
044-B	Rick & Theresa Keimele	413 East Broadway Avenue	Rehabilitation	Completed	1/11/08	\$136,836	10/1/08	\$176,955	1.00
045-B	Centennial Plaza, LLC	116 North 4th Street	Purchase	Completed	1/22/08	\$238,000	1/29/09	\$167,894	0.00
046-B	Westley's Inc.	423 East Broadway Avenue	Lease	Completed	3/19/08	N/A	7/14/08	N/A	1.00
047-B	Depot Associates	401 East Main Avenue	Rehabilitation	Completed	5/28/08	\$200,000	7/1/09	\$243,344	0.00
048-B	FV Restaurant, Inc.	401/411 East Main Avenue	Lease	Completed	5/28/08	N/A	6/27/08	N/A	3.00
049-B	T. Casey Cashman	523 North 1st Street	Rehabilitation	Completed	6/12/08	\$25,000	12/15/08	\$23,375	0.00
050-B	Starion Financial	333 North 4th Street	Rehabilitation	Completed	6/12/08	\$2,500,000	12/1/09	\$3,193,260	25.00
051-B	David Bliss, LLC	521 East Main Avenue	Lease	Withdrawn	7/11/07	\$99,000	N/A	N/A	N/A
052-B	Mark Benesh & Associates/Prudential	521 East Main Avenue	Lease	Completed	11/4/08	N/A	4/1/09	N/A	2.00
053-B	CIG Investments, LLP	408 East Main Avenue	Rehabilitation	Completed	4/21/09	\$258,720	10/21/09	\$199,620	0.00
054-B	RC Properties, LLLP	800 East Sweet Avenue	Rehab/New Const.	Completed	6/3/09	\$2,145,500	1/20/11	\$1,335,670	0.00
055-B	Blarney Stone Pub, LLC	408 East Main Avenue	Lease	Completed	7/7/09	N/A	10/1/09	N/A	46.00
056-B	Cavalier Homes, Inc.	408 East Main Avenue	Lease	Completed	7/7/09	N/A	10/15/09	N/A	3.00
057-B	Jim Poolman Consulting, Inc.	408 East Main Avenue	Lease	Completed	7/7/09	N/A	9/5/09	N/A	1.00
058-B	TFRE, LLC	120/124 North 4th Street	Purchase w/ Major	Completed	6/25/09	\$245,284	11/1/10	\$246,603	0.00
059-B	SPGMC, LLC/Boardwalk on Broadway, LLC	100 West Broadway Avenue	Rehabilitation	Withdrawn	9/17/09	\$706,964	N/A	N/A	N/A
060-B	SRSSM Partnership	122 East Broadway Avenue	Purchase w/ Major	Completed	11/25/09	\$727,000	6/17/10	\$620,109	0.00
061-B	Sheldon A. Smith, P.C.	123 East Broadway Avenue	Lease	Completed	12/3/09	N/A	6/21/10	N/A	1.50
062-B	Randall J. Bakke, P.C.	124 East Broadway Avenue	Lease	Completed	12/3/09	N/A	6/21/10	N/A	1.00
063-B	Scott K. Porsborg, P.C.	125 East Broadway Avenue	Lease	Completed	12/3/09	N/A	6/21/10	N/A	1.00
064-B	Mitchell D. Armstrong, P.C.	126 East Broadway Avenue	Lease	Completed	12/3/09	N/A	6/21/10	N/A	0.50
065-B	Suzanne M. Schweigert, P.C.	122 East Broadway Avenue	Lease	Completed	12/3/09	N/A	7/1/10	N/A	1.00
066-B	Kranzler Kingsley Communications, LTD	501 East Main Avenue	Lease	Completed	1/10/10	\$180,000	7/16/10	\$295,896	4.00
067-B	IRET Properties, LP	715 East Broadway Avenue	Rehabilitation	Completed	1/10/10	\$1,136,650	9/8/10	\$837,783	0.00
068-B	J & J Smith Property Management, LLC	115 North 4th Street	Purchase w/ Major	Completed	2/12/10	\$120,000	10/25/10	\$161,746	0.00
069-B	Jimmy John's	301 South 3rd Street	Lease	Completed	3/2/10	\$75,000	7/13/10	\$140,000	14.00
070-B	J2 Studio Architecture + Design	521 East Main Avenue	Lease	Completed	3/2/10	N/A	3/11/10	N/A	1.00
071-B	JS Bridal, LLC	115 North 4th Street	Lease	Completed	7/2/10	N/A	11/1/10	N/A	4.00
072-B	Toasted Frog West, LLC	124 North 4th Street	Lease	Completed	11/10/10	N/A	12/1/10	N/A	10.00
073-B	A.L. Brend, DDS	207 East Front Avenue	Lease	Completed	11/10/10	\$300,000	10/24/11	N/A	8.00
074-B	Magi-Touch Carpet & Furniture, Inc	800 East Sweet Avenue	Lease	Completed	11/10/10	N/A	2/1/11	N/A	3.00
075-B	American Bank Center	401 North 4th Street	New Construction	Completed	11/10/10	\$3,500,00	10/15/12	\$3,046,296	10.00
076-B	Spaces, Inc.	122 East Main Avenue	Lease	Completed	2/7/11	\$60,000	2/21/11	N/A	3.50
077-B	Aimee C. Reidy	306 South 10th Street	Rehabilitation	Completed	4/17/11	\$20,000	8/24/11	\$45,433	0.00
078-B	Loran L Galpin	123 North 4th Street	Purchase w/ Major	Withdrawn	5/16/11	\$1,100,000	N/A	N/A	N/A
079-B	Sheridan House Bed & Breakfast	522 North 5th Street	Purchase w/ Major	Withdrawn	6/20/11	\$300,000	N/A	N/A	N/A
080-B	Pine Properties, LLC	100 West Broadway Avenue	New Construction	Completed	8/10/11	\$27,000,000	2/1/15	\$23,947,483	0.00
081-B	Gulch II, LLC (fka HST, LLC)	506/510 East Main Avenue	Rehabilitation	Completed	8/10/11	\$3,100,000	1/15/14	\$3,535,146	0.00
082-B	Daymarck, LLC	521 East Main Avenue	Lease	Completed	8/10/11	N/A	11/7/13	N/A	4.00
083-B	JLB-BIS, Inc.	217 North 3rd Street	Rehabilitation	Completed	3/12/12	\$350,000	11/15/12	N/A	25.00
084-B	Broadway Centre, LLC	100 West Broadway	Lease	Completed	3/12/12	N/A	7/31/14	N/A	35.00
085-B	Pine Properties, LLC	100 West Broadway	Lease	Completed	5/14/12	N/A	7/31/14	N/A	1.00
086-B	Pine Investment Compay, LLC	100 West Broadway	Lease	Completed	5/14/12	N/A	7/31/14	N/A	1.00
087-B	Pine Enterprises, LLC	100 West Broadway	Lease	Completed	5/14/12	N/A	7/31/14	N/A	1.00
088-B	Pine Petroleum, Inc.	100 West Broadway	Lease	Completed	5/14/12	N/A	7/31/14	N/A	1.00

## Renaissance Zone Program

State ID	Applicant	Street Address	Project Type	Status	State Approval	Proposed Investment	Completion Date	Actual Investment	Jobs Created
089-B	Pine Oil Company	100 West Broadway	Lease	Completed	5/14/12	N/A	7/31/14	N/A	1.00
090-B	Kenneth Clark and Dave Clark	106 East Thayer Avenue	Rehabilitation	Completed	7/26/12	\$89,000	2/7/13	\$95,402	0.00
091-B	Bread Poets Baking Company, LLC	106 East Thayer Avenue	Lease	Completed	7/26/12	N/A	2/7/13	N/A	1.00
092-B	Obermiller Nelson Engineering	116 North 5th Street	Lease	Completed	8/29/12	N/A	9/1/12	N/A	3.00
093-B	LBMA BMK (dba Drunken Noodle)	510 East Main Avenue	Lease	Withdrawn	N/A	N/A	N/A	N/A	N/A
094-B	Redland, LLC	401 East Broadway Avenue	Rehabilitation	Approved	12/21/12	\$1,400,000	Pending	Pending	Pending
095-B	Hump Back Sally's, LLC	510 East Main Avenue	Lease	Completed	1/9/13	N/A	1/1/15	N/A	10.00
096-B	Faass Lavidia, LLC	510 East Main Avenue	Lease	Completed	2/21/13	N/A	9/1/13	N/A	10.00
097-B	J&G, Inc dba Red Wing Shoes	529 East Broadway Avenue	Lease	Completed	6/27/13	N/A	10/1/13	\$73,514	2.00
098-B	Skjonsby Unlimited, Inc.	222 West Broadway Avenue	Rehabilitation	Completed	6/27/13	\$72,421	12/20/13	\$93,607	0.00
099-B	Arikota, LP	306 South 1st Street	New Construction	Approved	9/18/13	\$3,000,000	Pending	Pending	Pending
100-B	Langan Engineering & Environmental	401 East Broadway Avenue	Lease	Completed	1/14/14	\$55,000	5/16/14	N/A	2.00
101-B	Kadlec Enterprises, LLC	307 North 3rd Street	Rehabilitation	Completed	9/25/13	\$490,051	6/14/14	\$412,637	0.00
102-B	Fireflour, LLC	111 North 5th Street	Lease	Completed	9/25/13	\$28,500	10/23/13	\$35,814	1.00
103-B	Norma Apartments, LLP	215 North 3rd Street	Rehabilitation	Completed	11/15/13	\$704,226	10/22/14	\$859,156	0.00
104-B	CC's Physical Therapy, LLC	100 West Broadway Avenue	Lease	Completed	4/2/14	\$300,000	12/10/14	N/A	5.00
105-B	Pure Skin, LLC	100 West Broadway Avenue	Lease	Completed	5/29/14	\$248,000	12/12/14	N/A	3.00
106-B	Broadway Centre Salon & Spa, Inc.	100 West Broadway Avenue	Lease	Completed	5/29/14	\$558,403	12/4/14	N/A	15.00
107-B	Lucky Ducks ND, LLC	307 North 3rd Street	Lease	Completed	5/28/14	N/A	6/15/14	N/A	30.00
108-B	George Yineman dba Bismarck Realty Co.	113 South 5th Street	Lease	Completed	11/6/14	\$17,100	1/1/15	\$20,365	1.00
109-B	William F. Cleary	100 West Broadway Avenue	Primary Residential	Completed	12/15/14	N/A	12/17/14	N/A	0.00
110-B	Gulch Holdings II, LLC	514 East Main Avenue	Purchase w/ Major	Completed	3/8/15	\$246,035	8/22/14	\$258,513	0.00
111-B	Juniper, LLC	315 East Broadway Avenue	Lease	Completed	3/27/15	N/A	9/24/15	N/A	17.00
112-B	Terra Nomad, LLC	514 East Main Avenue	Lease	Completed	4/20/15	\$28,000	6/30/15	N/A	0.00
113-B	Leon 'Curly' Schoch	100 West Broadway Avenue	Primary Residential	Completed	6/3/15	N/A	6/10/15	N/A	0.00
114-B	The Barber's Wife, LLC	116 North 5th Street	Lease	Completed	7/20/15	\$25,000	7/23/15	N/A	2.00
115-B	Rick and Lori Lee	100 West Broadway Avenue	Primary Residential	Completed	6/30/15	N/A	7/1/15	N/A	0.00
116-B	Kevin D. Reisenauer	100 West Broadway Avenue	Primary Residential	Completed	8/11/15	N/A	8/11/15	N/A	0.00
117-B	100 West Main, LP	100 West Main Avenue	New Construction	Approved	11/23/15	\$5,206,732	Pending	Pending	Pending
118-B	Glasser Images, LLC	510 East Main Avenue	Lease	Completed	4/25/16	\$140,000	4/25/16	N/A	8.00
119-B	River Road Partners, LLC	212 East Main Avenue	Purchase w/ Major	Approved	2/11/16	\$100,000	Pending	Pending	Pending
120-B	The Starving Rooster, LLC	512 East Main Avenue	Lease	Completed	7/20/16	\$600,000	3/31/17	N/A	40.00
121-B	Steven and Carl Hall	West Broadway Avenue	Primary Residential	Completed	11/16/16	N/A	11/16/16	N/A	0.00
122-B	NoodleZip	208 East Main Avenue	Lease	Approved	3/17/17	\$62,000	Pending	N/A	2.00
						<b>\$68,584,590</b>		<b>\$52,536,392</b>	<b>525.25</b>

**CORE Incentive Grant Program**

CORE Project	Applicant	Street Address	Project Type	Status	RZA	Hearing	Commission Hearing	Total Project Cost	Approved Grant Amount	Completion Date	Total Payments To Date
001-07	Red Wing Shoes	529 East Broadway Avenue	Signage	Disbursed		5/14/2007	5/22/2007	\$8,199.34	\$3,000.00	11/19/2007	\$3,000.00
002-07	LeRoy Walker	118 North 5th Street	Subsurface Infill	Disbursed		5/14/2007	5/22/2007	\$3,300.00	\$2,800.00	5/30/2007	\$2,800.00
003-07	LeRoy Walker	118 North 5th Street	Technical Assistance	Disbursed		7/17/2007	8/14/2007	\$1,015.00	\$1,575.00	9/17/2007	\$771.38
004-07	Janet Pinks	207 East Avenue B	Housing Incentive	Disbursed		7/17/2007	8/14/2007	\$116,461.14	\$20,232.83	2/28/2009	\$19,153.05
005-07	Kevin Horneman	408 East Main Avenue	Technical Assistance	Disbursed		7/17/2007	8/14/2007	\$2,100.00	\$1,575.00	1/23/2008	\$1,575.00
006-07	Kevin Horneman	410 East Main Avenue	Technical Assistance	Disbursed		7/17/2007	8/14/2007	\$2,100.00	\$1,575.00	1/23/2008	\$1,575.00
007-07	Greg Bavendick	301 East Broadway Avenue	Technical Assistance	Withdrawn		8/27/2007	9/11/2007	N/A	\$1,575.00	N/A	N/A
008-07	Pride Wilton Inc.	112 North 5th Street	Façade	Disbursed		8/27/2007	9/11/2007	\$44,197.00	\$22,098.50	11/29/2007	\$22,098.50
009-07	Brady, Martz & Associates, PC	207 East Broadway Avenue	Signage	Disbursed		8/27/2007	9/11/2007	\$6,112.00	\$3,056.00	3/5/2008	\$3,056.00
010-07	LeRoy Walker	118 North 5th Street	Façade	Disbursed		8/27/2007	9/11/2007	\$21,664.27	\$12,500.00	6/17/2008	\$10,832.14
011-07	Kevin Horneman	408 East Main Avenue	Façade	Disbursed		8/27/2007	9/11/2007	\$50,405.00	\$25,000.00	9/17/2008	\$25,000.00
012-07	Michael Woods	410 East Main Avenue	Façade	Disbursed		8/27/2007	9/11/2007	\$71,500.00	\$25,000.00	12/22/2008	\$25,000.00
013-07	Rainmaker Gusto Ventures, LLC	116 North 5th Street	Housing Incentive	Disbursed		8/27/2007	9/11/2007	\$57,154.54	\$12,700.00	1/20/2009	\$11,430.91
014-08	Turitto's Dry Cleaners	1131 East Main Avenue	Façade	Disbursed		4/18/2008	5/13/2008	\$5,256.00	\$2,628.00	10/1/2008	\$2,628.00
015-08	Magic Photo Art	120 North 5th Street	Signage	Disbursed		5/12/2008	5/27/2008	\$5,170.15	\$2,735.08	9/30/2008	\$2,735.08
016-08	Fowler Photography	120 North 5th Street	Signage	Disbursed		5/12/2008	5/27/2008	\$1,344.02	\$672.01	7/30/2008	\$672.01
017-08	Mr. Delicious/Aaron Bank	307 North 3rd Street	Signage	Disbursed		6/23/2008	7/8/2008	\$10,415.00	\$3,000.00	1/30/2009	\$3,000.00
018-08	Rainmaker Gusto Ventures, LLC	116 North 5th Street	Technical Assistance	Withdrawn		6/23/2008	7/22/2008	N/A	N/A	N/A	N/A
019-08	Robert Knutson Photography	405 East Sweet Avenue	Technical Assistance	Disbursed		7/9/2008	7/22/2008	\$2,310.00	\$1,575.00	12/17/2008	\$1,575.00
020-08	The Window & Door Store	410 East Main Avenue	Signage	Disbursed		8/13/2008	8/27/2008	\$6,742.34	\$3,000.00	12/22/2008	\$3,000.00
021-08	Tyre Mart	704 East Bowen Avenue	Signage	Disbursed		9/10/2008	9/23/2008	\$6,099.16	\$3,000.00	10/9/2008	\$3,000.00
022-08	Robert Knutson Photography	405 East Sweet Avenue	Façade	Withdrawn		11/12/2008	11/25/2008	N/A	\$25,000.00	N/A	N/A
023-08	Robert Knutson Photography	405 East Sweet Avenue	Signage	Withdrawn		11/12/2008	11/25/2008	N/A	\$3,000.00	N/A	N/A
024-08	ACI/ND Bankers Association	122 East Main Avenue	Signage	Withdrawn		11/12/2008	11/25/2008	N/A	\$3,000.00	N/A	N/A
025-09	Magi-Touch Carpet & Furniture Inc.	800 East Sweet Avenue	Technical Assistance	Disbursed		2/11/2009	2/24/2009	\$4,200.00	\$1,575.00	9/22/2009	\$1,575.00
026-09	Gosset Enterprises/Taco John's	320 South 3rd Street	Façade	Disbursed		2/11/2009	3/24/2009	\$51,923.53	\$25,000.00	8/20/2009	\$25,000.00
027-09	Gosset Enterprises/Taco John's	320 South 3rd Street	Signage	Disbursed		2/11/2009	3/24/2009	\$8,840.00	\$3,000.00	8/20/2009	\$3,000.00
028-09	Rolf Eggers	214 & 216 East Main Avenue	Façade	Disbursed		2/11/2009	3/24/2009	\$7,150.00	\$3,575.00	6/16/2009	\$3,575.00
029-09	ADLOC Inc./Warren's Locks & Keys	214 East Main Avenue	Signage	Disbursed		2/11/2008	3/24/2009	\$1,215.00	\$607.50	5/4/2009	\$532.50
030-09	A&B Pizza South	311 South 7th Street	Technical Assistance	Withdrawn		4/8/2009	4/28/2009	N/A	\$1,575.00	N/A	N/A
031-09	Broadway Floral of Hearts	411 East Broadway Avenue	Signage	Disbursed		5/13/2009	5/26/2009	\$4,845.49	\$2,422.95	7/9/2009	\$2,422.95
032-09	Magi-Touch Carpet & Furniture, Inc.	800 East Sweet Avenue	Façade	Disbursed		5/13/2009	5/26/2009	\$347,150.00	\$25,000.00	7/20/2011	\$25,000.00
033-09	DoCo Group	114 North 3rd Street	Technical Assistance	Withdrawn		7/8/2009	N/A	N/A	N/A	N/A	N/A
034-09	Starion Financial	333 North 4th Street	Signage	Disbursed		10/14/2009	10/27/2009	\$10,860.00	\$3,000.00	12/28/2009	\$3,000.00
035-09	SRSSM Partnership	122 East Broadway	Façade	Disbursed		11/12/2009	11/24/2009	\$72,238.00	\$20,000.00	7/13/2010	\$20,000.00
036-09	SRSSM Partnership	122 East Broadway	Signage	Disbursed		11/12/2009	11/24/2009	\$6,537.00	\$3,000.00	7/13/2010	\$3,000.00
037-10	J & J Property Management	115 North 4th Street	Technical Assistance	Disbursed		1/13/2010	1/26/2010	\$1,715.00	\$1,575.00	7/1/2010	\$1,286.25
038-10	Hedahls Inc.	100 East Broadway Avenue	Signage	Disbursed		1/13/2010	1/26/2010	\$7,800.00	\$3,000.00	4/29/2010	\$3,000.00
039-13	Redland, LLC	123 North 4th Street	Subsurface Infill	Disbursed		12/18/2012	1/8/2013	\$196,262.00	\$196,262.00	9/30/2013	\$203,232.25
040-13	Woodmansee's Inc.	114 North 4th Street	Signage	Disbursed		12/18/2012	1/8/2013	\$6,150.00	\$3,000.00	4/1/2011	\$3,000.00
041-13	Blink Eyewear	234 West Broadway Avenue	Façade	Disbursed		1/15/2013	1/22/2013	\$21,521.00	\$10,760.50	5/2/2013	\$10,760.50
042-13	Blink Eyewear	234 West Broadway Avenue	Signage	Disbursed		1/15/2013	1/22/2013	\$6,000.00	\$3,000.00	5/2/2013	\$3,000.00
043-13	ELAD, LLC	119 North 4th Street	Technical Assistance	Disbursed		1/19/2013	2/26/2013	\$3,300.00	\$2,475.00	7/26/2013	\$2,475.00
044-13	Laughing Sun Brewery	107 North 5th Street	Signage	Disbursed		2/19/2013	2/26/2013	\$6,600.00	\$3,000.00	4/26/2013	\$3,000.00
045-13	NodMor, LLC	317/319 South Mandan Street	Technical Assistance	Approved		3/19/2013	3/26/2013	Pending	\$8,250.00	Pending	Pending
046-13	One Source Lighting, LLC	122 North Mandan Street	Technical Assistance	Disbursed		4/17/2013	4/23/2013	\$1,900.00	\$2,475.00	12/10/2013	\$1,475.00
047-13	Kadlec Enterprises, LLC	307 North 3rd Street	Technical Assistance	Disbursed		8/20/2013	8/27/2013	\$7,611.25	\$2,475.00	9/4/2013	\$2,475.00
048-13	InVision Properties, LLP	815 East Main Avenue	Façade	Disbursed		11/19/2013	11/26/2013	\$123,721.35	\$25,000.00	9/1/2013	\$25,000.00
048-13	InVision Properties, LLP	815 East Main Avenue	Signage	Disbursed		11/19/2013	11/26/2013	\$10,459.82	\$3,000.00	9/1/2013	\$3,000.00
049-14	Pressdough of Bismarck, LLC	304 East Front Avenue	Technical Assistance	Disbursed		1/22/2014	1/28/2014	\$4,200.00	\$2,475.00	3/6/2014	\$2,475.00
050-14	Laughing Sun Brewing Company, LLC	122 North Mandan Street	Technical Assistance	Disbursed		4/15/2014	4/22/2014	\$3,300.00	\$2,475.00	10/23/2014	\$2,475.00
051-14	Electronic Building Company	212 West Main Avenue	Technical Assistance	Disbursed		4/15/2014	4/22/2014	\$5,632.00	\$2,475.00	3/24/2015	\$2,475.00
052-14	Pressdough of Bismarck, LLC	304 East Front Avenue	Façade	Disbursed		7/15/2014	8/12/2014	\$55,934.85	\$60,000.00	12/16/2014	\$27,967.42
053-14	114 on 3rd, LLC	114 North 3rd Street	Technical Assistance	Disbursed		8/21/2014	8/28/2014	\$19,772.67	\$8,250.00	6/9/2016	\$8,250.00
054-14	Jim Barnhardt	223 East Main Avenue	Technical Assistance	Disbursed		8/19/2014	8/26/2014	\$17,037.24	\$8,250.00	4/25/2014	\$8,250.00



**CORE Incentive Grant Program**

CORE Project	Applicant	Street Address	Project Type	Status	RZA	Hearing	Commission Hearing	Total Project Cost	Approved Grant Amount	Completion Date	Total Payments To Date
055-14	Jim Barnhardt	223 East Main Avenue	Façade	Disbursed		11/18/2014	11/25/2014	\$318,048.68	\$60,000.00	2/3/2016	\$60,000.00
056-15	Electronic Building Company	212 West Main Avenue	Façade	Disbursed		3/17/2015	3/24/2015	\$33,858.00	\$16,929.00	4/18/2016	\$16,929.00
057-15	NodMor, LLC	124 North 4th Street	Technical Assistance	Approved		3/17/2015	3/24/2015	Pending	\$8,250.00	Pending	Pending
058-15	Property 303, LLC	303 North 4th Street	Technical Assistance	Disbursed		4/30/2015	5/15/2015	\$3,300.00	\$8,250.00	12/21/2016	\$2,475.00
059-15	Feil Orthodontics	416 North 6th Street	Technical Assistance	Approved		5/19/2015	5/26/2015	Pending	\$2,475.00	Pending	Pending
060-15	Kadlec Enterprises, LLC	309 North 3rd Street	Technical Assistance	Approved		7/1/2015	7/8/2015	Pending	\$8,250.00	Pending	Pending
061-15	114 on 3rd, LLC	114 North 3rd Street	Façade	Approved		7/1/2015	7/8/2015	Pending	\$8,250.00	Pending	Pending
062-15	Los Lunas Mexican Restaurant	108 North Mandan Street	Façade	Denied		12/15/2015	N/A	N/A	N/A	N/A	N/A
063-15	Triple J Properties, LLC	710 East Bowen Avenue	Technical Assistance	Approved		1/19/2016	1/26/2016	Pending	\$2,475.00	Pending	Pending
064-16	Vold Tire Company, LLC	214/216 East Main Avenue	Technical Assistance	Approved		1/19/2016	1/26/2016	Pending	\$8,250.00	Pending	Pending